

ANZALONE RESIDENCE

ADDRESS: 103 MANATEE RD, BELLEAIR, FL 33756



CODE REFERENCES

8TH EDITION (2023) FLORIDA BUILDING CODE
8TH EDITION (2023) FLORIDA EXISTING BUILDING CODE
8TH EDITION (2023) FLORIDA ACCESSIBILITY CODE
8TH EDITION (2023) FLORIDA ENERGY CONSERVATION CODE
8TH EDITION (2023) FLORIDA MECHANICAL CODE
8TH EDITION (2023) FLORIDA PLUMBING CODE
8TH EDITION (2023) FLORIDA FUEL GAS CODE
8TH EDITION (2023) FLORIDA BUILDING CODE TEST PROTOCOLS
8TH EDITION (2023) EDITION FLORIDA FIRE PREVENTION CODE

2020 NATIONAL ELECTRICAL CODE (NFPA 70)

PROJECT SCOPE

ALTERATION OF THE INTERIOR SPACE: KITCHEN, DINING ROOM, AND LAUNDRY/MUDROOM
ALTERATION OF THE EXISTING GARAGE
ADD NEW POWDER ROOM

PROJECT INFORMATION

BUILDING ADDRESS: 103 MANATEE RD, BELLEAIR, FL 33756
OCCUPANCY TYPE: PRIMARY USE/OCCUPANCY = (R3) RESIDENTIAL, SINGLE FAMILY HOME (EXISTING)
CONSTRUCTION TYPE: VB (EXISTING)
WORK CLASSIFICATION: LEVEL 2 ALTERATION (RESIDENTIAL ADDITION)
ZONING / LAND USE FLOOD ZONE: R3 / RL X
BUILDING AREA:

EXISTING SQUARE FOOTAGE	
AREA	GROSS AREA
EXISTING HOUSE	3,821 SF
PROPOSED SQUARE FOOTAGE	
AREA	GROSS AREA
NEW ADDITION	245 SF

DRAWING INDEX

SHEET	SHEET NAME	REVISIONS		
		LATEST	DESCRIPTION	DATE
000	COVER			
001	GENERAL NOTES			
A100	ARCHITECTURAL SITE PLAN			
EX101	EXISTING DEMO FLOOR PLAN			
EX102	EXISTING 2ND FLOOR PLAN			
A101	PROPOSED FLOOR PLAN			
A102	PROPOSED SECOND FLOOR PLAN			
A103	ROPIELECTRICAL PLAN			
A201	PROPOSED ELEVATIONS			
A202	PROPOSED ELEVATIONS			
A301	INTERIOR ELEVATIONS			
S101	FOUNDATION PLAN			
S102	FIRST FLOOR FRAMING PLAN			
S103	ROOF FRAMING PLAN			
S104	STRUCTURAL DETAILS			
S106	STRUCTURAL DETAILS			

SITE AREA CALCULATIONS

TOTAL SITE AREA 12,740 SF
EXISTING BUILDING 3,821 SF
PROPOSED GARAGE EXPANSION 245 SF
CONCRETE WALKWAYS AND DRIVEWAYS 1,641 SF
IMPERVIOUS RATIO PROPOSED: 5,707 / 12,740 = 45%
IMPERVIOUS RATIO ALLOWED: MAX 60.0%



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Project Status:
PERMIT SET

Project:

Anzalone Residence
103 Manatee Rd, Belleair, FL 33756

Drawing Title:

COVER

Revision Number	Revision	
	Description	Date

Drawn By: Mila Ivanenko
Date: 05/23/25
Project Number

Sheet:

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ARCHITECTURE

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Lucy Ivanenko Associate Architect
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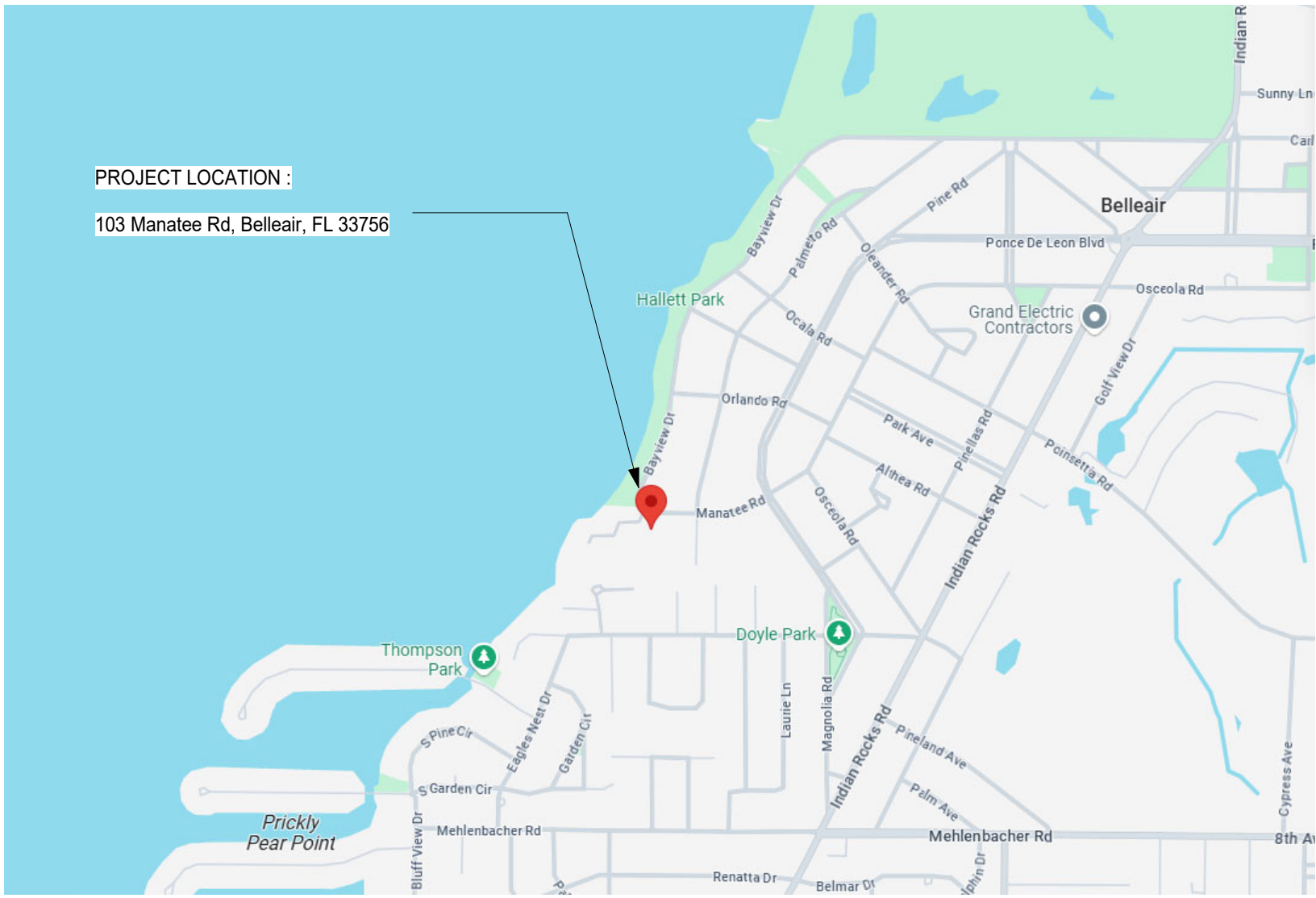
John Pantazes, AIA
LIC. # 92860

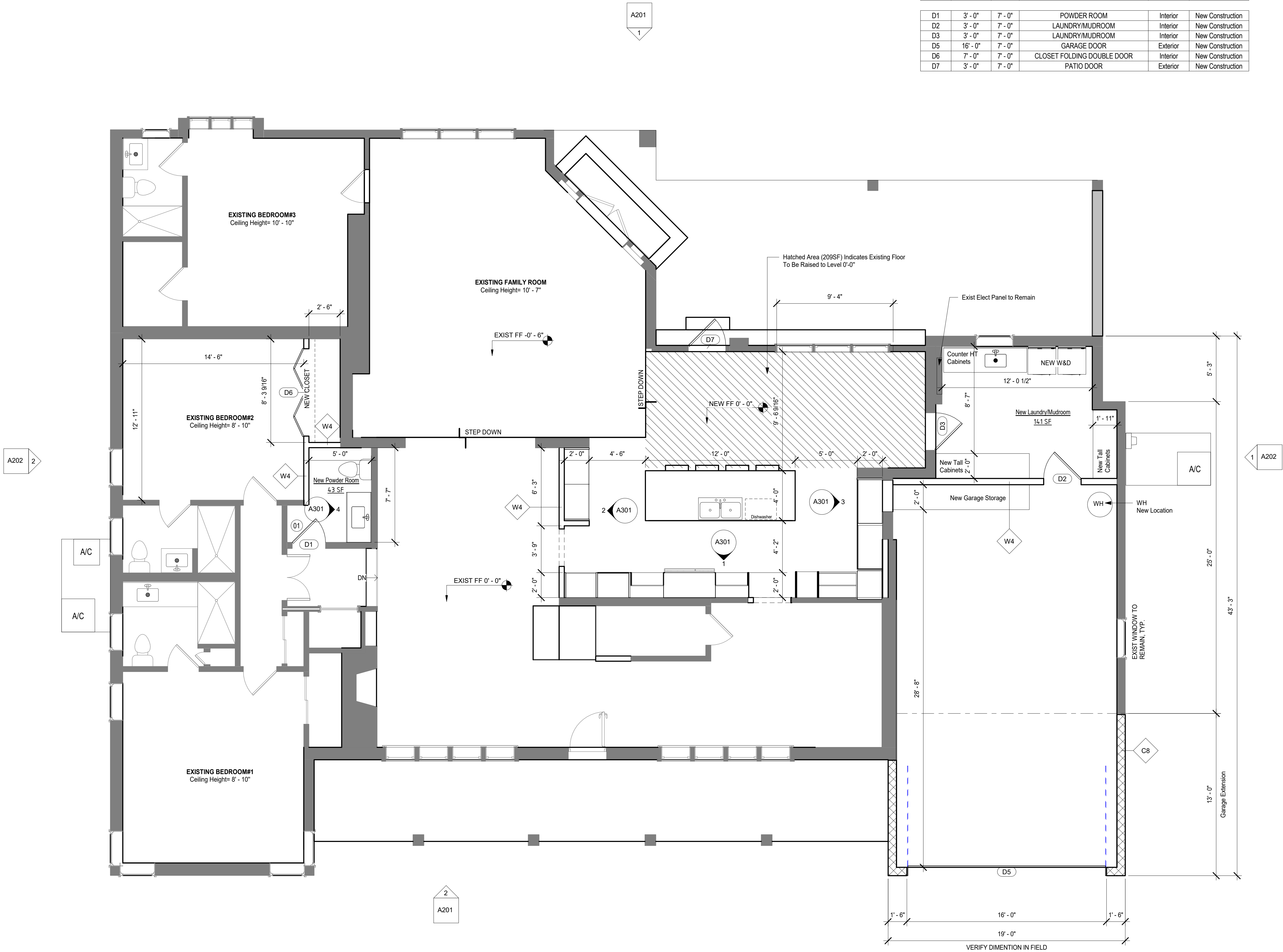
GENERAL CONTRACTOR

N9NE CONSTRUCTORS, INC.
1715 MISSOURI AVE N #8
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Matt Jamison ,President
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PROJECT LOCATION MAP





DOOR SCHEDULES

DOOR SCHEDULE					
DOOR #	Rough Width	HEIGHT	Comments	Function	Phase Created
D1	3' - 0"	7' - 0"	POWDER ROOM	Interior	New Construction
D2	3' - 0"	7' - 0"	LAUNDRY/MUDROOM	Interior	New Construction
D3	3' - 0"	7' - 0"	LAUNDRY/MUDROOM	Interior	New Construction
D5	16' - 0"	7' - 0"	GARAGE DOOR	Exterior	New Construction
D6	7' - 0"	7' - 0"	CLOSET FOLDING DOUBLE DOOR	Interior	New Construction
D7	3' - 0"	7' - 0"	PATIO DOOR	Exterior	New Construction

WALL LEGEND

EXISTING: CONSTRUCTION TO REMAIN

EXISTING: CONSTRUCTION TO BE REMOVED

WALL TYPE [W4] 2X4 STUDS @ 16" OC W. 1/2" EA SIDE. (1/2" CEMENT BOARD IN WET LOCATIONS)

WALL TYPE [W6] 2X6 STUDS @ 16" OC W. 1/2" EA SIDE. (1/2" CEMENT BOARD IN WET LOCATIONS)

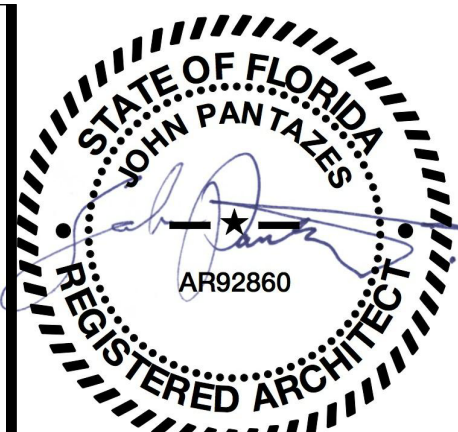
WALL TYPE [C8] 16X8X8 CMU WALL. (EXTERIOR SIDE: EXT CEMENT PLASTER, MATCH EXISTING FINISH AND WALL COLOR)

GENERAL NOTES

- A WORK AREAS TONED IN GRAY ARE NOT IN CONTRACT. PARTITIONS FACING AREA OF WORK ARE IN SCOPE.
- B DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- C DIMENSIONS AND ALIGNMENTS SHOWN ARE FROM FINISH FACE UNO.
- D PATCH AND REPAIR ALL EXISTING TO REMAIN SURFACES AFFECTED BY DEMOLITION AND NEW CONSTRUCTION (WALLS, CEILINGS, MILLWORK, TRIMWORK, METAL, AND SIMILAR). PROVIDE NEW FINISH TO MATCH EXISTING CONDITIONS)
- E PROVIDE KNOCKDOWN GYPSUM FINISH AT ALL NEW WALLS AND CEILINGS.
- F COORDINATE WITH OWNER (BASEBOARD TYPES, DOOR TRIM TYPES, DOOR HARDWARE COLOR, INTERIOR WALL PAINT COLOR.
- G NEW PLUMBING SUPPLY LINES TO RESTROOM TO BE TIED TO EXISTING WATER HEATER
- H REFER TO OWNER PROVIDED GOTECHNICAL REPORT FOR SITE PREPARATION.
- I NEW PLUMBING LINES TO BE COPPER.

SHEET NOTES

- 01 PROVIDE IN WALL SOUND BATT INSULATION



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Project Status:
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Project:

Anzalone
Residence
103 Manatee Rd, Belleair, FL 33756

Drawing Title:

PROPOSED
FLOOR PLAN

Revision		
Number	Description	Date

Drawn By: Mila Ivanenko
Date: Project Number
05/23/25

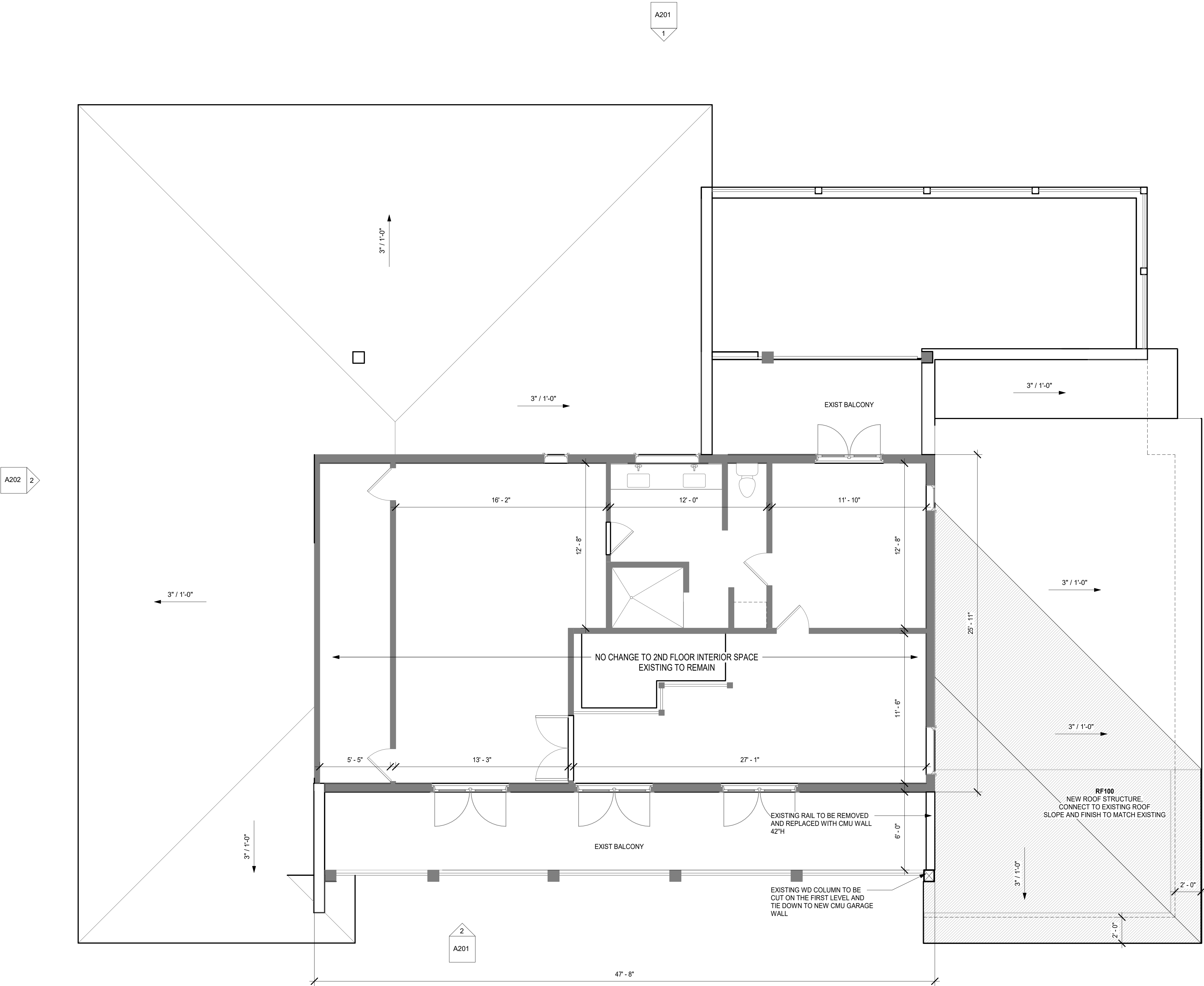
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1 2ND FLOOR PLAN PROPOSED

SCALE: 1/4" = 1'-0"



WALL LEGEND

- EXISTING:** CONSTRUCTION TO REMAIN
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RF100

ASPHALT SHINGLES
DESCRIPTION: ASPHALT SHINGLES
MANUFACTURER: GAF
COLOR: MATCH EXTSTING
FINISH: MATCH EXISTING
LOCATION: 3:12 ROOF SLOPE
CONSTRUCTION: (30 YR ASPHALT HINGLE ROOF) +(PEEL AND STICK UNDERLAYMENT) +(1/2" CDX PLYWOOD SHEATHING WITH CLIPS, NAIL W 8D @ 6" OC IN FILED AND 4" OC ON EDGES)
NOTE: APPROVAL: FL 10124.1

ROOF SPECIFICATIONS



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**Anzalone
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Drawing Title:

**PROPOSED
SECOND FLOOR
PLAN**

Number	Revision	
	Description	Date

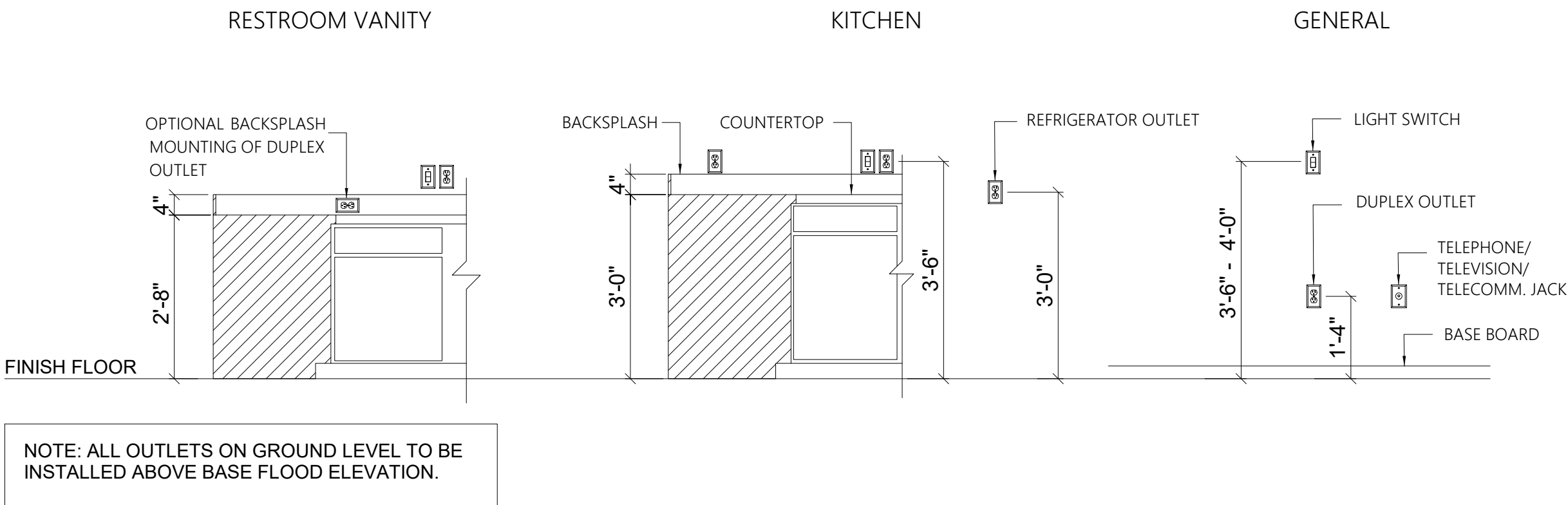
Drawn By: Mila Ivanenko
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05/23/25

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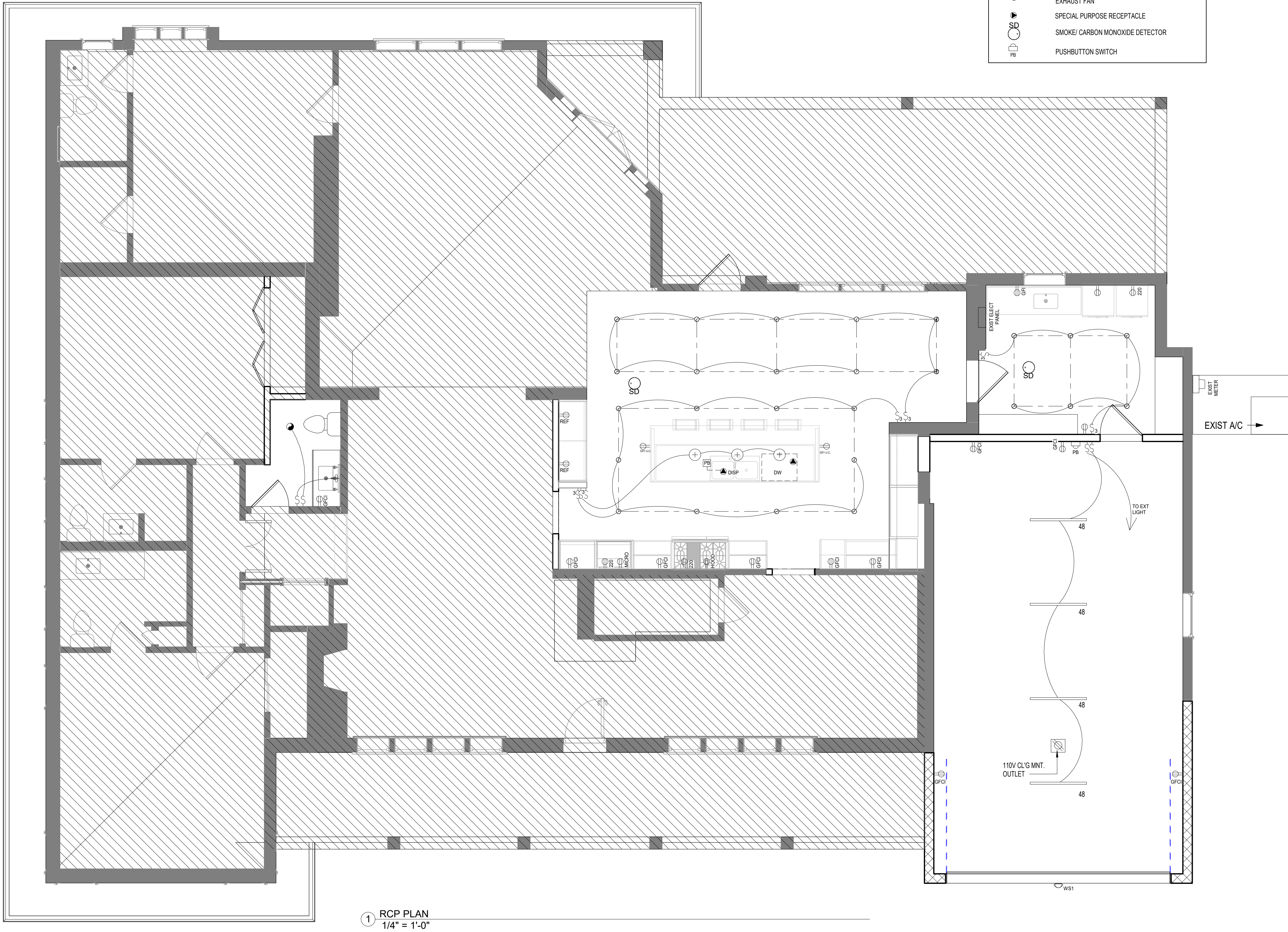
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SPECIFICATIONS	
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING:	a. LATEST ADOPTED ISSUE OF THE NATIONAL ELECTRICAL CODE
	b. NFPA 72 AND 101
	c. REGULATIONS OF LOCAL AUTHORITIES HAVING JURISDICTION
2. FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT AND SERVICES NECESSARY FOR COMPLETE AND SAFE INSTALLATION OF THE ELECTRICAL SYSTEM INDICATED ON THE DRAWINGS AND NOTED IN THE SPECIFICATIONS HEREINAFTER. ELECTRICAL SYSTEMS AND EQUIPMENT SHALL IN GENERAL INCLUDE THE FOLLOWING:	a. GENERAL PROVISIONS FOR ELECTRICAL WORK
	b. ELECTRICAL SERVICE
	c. WIRING, DISTRIBUTION EQUIPMENT AND DEVICES
3. GENERAL PROVISIONS FOR ELECTRICAL WORK	d. LIGHTING FIXTURES AND LAMPS
	e. GROUNDING SYSTEM
	f. FIRE ALARM DEVICES
4. ELECTRICAL SERVICE	a. DRAWINGS: ELECTRICAL DRAWINGS CONSIDERED DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF WORK AND SYSTEMS. REFER TO ARCHITECTURAL DRAWINGS TO VERIFY LOCATION OF EQUIPMENT, ETC. CHECK DRAWINGS OF OTHER TRADES TO VERIFY EXACT SPACE CONDITIONS OR UNDERGROUND LINES.
	b. QUALITY OR MATERIALS: NEW, BEST OF THEIR RESPECTIVE KIND, FREE FROM DEFECTS, AND LISTED BY UNDERWRITERS LABORATORIES, INC. OR BEARING THEIR LABEL.
	c. CURRENT CHARACTERISTICS: SERVICES 120/240 VOLT 1 PHASE, 3 WIRE, 60 HERTZ WITH GROUNDED NEUTRAL AS NOTED.
5. WIRING, DISTRIBUTION AND DEVICES	d. SHOP DRAWINGS: SUBMIT FOUR (4) COPIES OF SHOP DRAWINGS FOR LIGHTING FIXTURES AND PANELBOARDS. OBTAIN APPROVAL BEFORE EQUIPMENT IS ORDERED, BUILT OR INSTALLED.
	e. FOUNDATIONS: CONCRETE, 1 PART PORTLAND CEMENT, 2 PARTS FINE AGGREGATE AND 4 PARTS COARSE AGGREGATE, PUDDLED, SMOOTH FINISH, PROVIDE FOR OUTDOOR LIGHTING FIXTURES.
	f. EXCAVATION AND BACKFILLING: EXCAVATE, BACKFILL AND RESTORE SURFACES FOR ALL ELECTRICAL WORK
6. LIGHTING FIXTURES AND LAMPS	g. TESTS:PERFORM AS NOTED AND IN PRESENCE OF ARCHITECT OWNER REP.PROVIDE ALL REQUIRED LABOR AND MATERIAL. REPAIR OR REPLACE DEFECTIVE WORK AS DIRECTED.
	h. ALL NEW WORK TO BE INSTALLED WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES.
7. GROUNDING SYSTEM	a. PROVIDE COMPLETE UNDERGROUND ELECTRICAL SERVICE AND EQUIPMENT AS INDICATED. ALL WORK REQUIRED SHALL BE IN ACCORDANCE WITH UTILITY COMPANY'S REQUIREMENTS AND SHALL INCLUDE PAYMENT FOR SERVICE CONNECTION, ETC.
	b. DISCONNECT SWITCHES: GENERAL DUTY, HORSEPOWER RATED FOR MOTOR LOADS 250 VOLT RATING, FUSED OR NON-FUSED AS NOTED; NUMBER OF POLES AS INDICATED, COVER INTERLOCKED WITH SWITCH. ENCLOSURE NEMA 1 FOR INDOOR USE AND NEMA 3R FOR WEATHERPROOF APPLICATIONS. SWITCH SIMILAR TO SQUARE "D" OR APPROVED EQUAL.
	c. SERVICE DISCONNECT SWITCHES: GENERAL DUTY, 250 VOLT RATING, FUSED AS NOTED, 3 POLE, COVER INTERLOCKED WITH SWITCH, QUICK-MAKE, QUICK-BREAK SWITCH MECHANISMS. SUITABLE FOR USE AS SERVICE EQUIPMENT INCLUDING GROUNDING PROVISIONS. DISCONNECT PROVISIONS FOR ALL UNGROUNDED AND GROUNDED CONDUCTORS AND FUSEHOLDERS FOR HIGH INTERRUPTING CAPACITY FUSES. COMPLETE WITH NEMA 1 ENCLOSURE. SWITCH SIMILAR TO SQUARE "D" OR APPROVED EQUAL.
8. FIRE ALARM SYSTEM:	d. CIRCUIT BREAKERS: MOLDED CASE, THERMAL-MAGNETIC QUICK-MAKE, QUICK-BREAK, PLUG-IN TYPE WITH MANUALLY OPERATED INSULATED TRIP-FREE HANDLE. MULTI-POLE TYPES WITH INTERNAL COMMON TRIP BAR. TERMINALS SUITABLE FOR COPPER OR ALUMINUM CONDUCTORS. INTERRUPTING CAPACITY MINIMUM 10,000 RMS SYMMETRICAL AMPERE AT 120 VOLT AC. CIRCUIT BREAKERS SIMILAR TO SQUARE "D" TYPE QO, OR APPROVED EQUAL.
	e. PANELBOARDS: VOLTAGE, PHASING AND AMPERE RATINGS AS INDICATED, CIRCUIT BREAKER TYPE AS INDICATED, BUS BARS, HARD DRAWN COPPER, MINIMUM 98% CONDUCTIVITY, GALVANIZED STEEL BACK BOX, DOOR AND TRIM. ALL CORNERS LAPPED AND WELDED, HARDWARE CHROME PLATED WITH FLUSH LOCK AND CATCH. HINGES SEMI-CONCEALED, 5 KNUCKLE STEEL WITH NON-FERROUS PINS, 180 TO OPENINGS. MINIMUM GUTTER SPACE 5-3/4 INCH SIDES, TOP AND BOTTOM. INCREASE SIZE WHERE REQUIRED BY CODE. DIRECTORY HOLDER COMPLETE WITH CLEAR PLASTIC TRANSPARENT COVER INDICATING TYPEWRITTEN LIST OF FEEDER CABLES, CONDUIT SIZES CIRCUIT NUMBERS, OUTLETS OF EQUIPMENT SUPPLIED, AND THEIR LOCATION. CIRCUIT BREAKER TYPE PANELBOARDS SIMILAR TO SQUARE "D" TYPE NQO OR APPROVED EQUAL.
	f. WIRING DEVICES: ALL DEVICES THE PRODUCT OF THE SAME MANUFACTURER. WALL SWITCHES SINGLE POLE, 20 AMPERE, 120 VOLT, SIMILAR TO P&S CATALOG NUMBER 20ACI-WHITE. WALL SWITCHES THREE-WAY, 20 AMPERE, 120 VOLT, SIMILAR TO P&S CATALOG NUMBER 6300 -WHITE.
9. INSTALLATION:	g. DEVICE PLATES: PROVIDE FOR ALL OUTLETS WHERE DEVICES ARE INSTALLED. METAL PLATES SIMILAR TO P&S CATALOG NUMBER-9300. PROVIDE ENGRAVED MARKING FOR SPECIAL OUTLETS.
	h. DIMMERS: 120 VOLT, FLUSH MOUNTED, CAPACITY AS NOTED. SOLID-STATE TYPE WITH CALIBRATED LINEAR SLIDE CONTROL, SIMILAR TO LUTRON N-600 TO N-2000 SERIES OR APPROVED EQUAL. (MINIMUM 600 WATT)
	i. DIMMERS: 120 VOLT, FLUSH MOUNTED, CAPACITY AS NOTED. SOLID-STATE TYPE WITH CALIBRATED LINEAR SLIDE CONTROL, SIMILAR TO LUTRON N-600 TO N-2000 SERIES OR APPROVED EQUAL. (MINIMUM 600 WATT)
10. LIGHTING FIXTURES AND LAMPS	j. DIMMERS: 120 VOLT, FLUSH MOUNTED, CAPACITY AS NOTED. SOLID-STATE TYPE WITH CALIBRATED LINEAR SLIDE CONTROL, SIMILAR TO LUTRON N-600 TO N-2000 SERIES OR APPROVED EQUAL. (MINIMUM 600 WATT)
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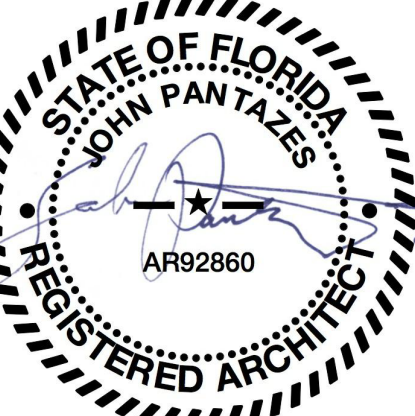


ELECTRIC HEIGHTS - ELEVATIONS
1/2" = 1'-0"




ELECTRICAL LEGEND AND NOTES	
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTER (GFI) AS INDICATED ON PLANS.	
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:	
SWITCHES.....42"	
OUTLETS.....14"	
TELEPHONE.....14"	
TELEVISION.....14"	
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. SMOKE DETECTORS SHALL BE CONNECTED TO OPERATE ALL ALARMS WHEN ANY UNIT IS INITIATED. PROVIDE INSIDE EACH SLEEPING ROOM AND IN THE IMMEDIATE OUTSIDE AREA OF EACH SLEEPING ROOM PER NFPA 72 CHAPTER 2-2.1.1.1. AND SBCC 905.2	
4. ALL RECEPTACLES SHALL BE ON A.F.C.I. PROTECTED CIRCUIT PER NEC IN SLEEPING ROOMS, FAMILY ROOMS, LIVING ROOMS AND DINING ROOMS.	
5. CONTRACTOR SHALL COORDINATE WITH OWNER, TELEPHONE AND CABLE COMPANIES FOR QUANTITY AND FINAL LOCATION OF TV JACKS AND PHONE JACKS. TYPE TO BE SELECTED IN FIELD.	
6. ALL FINAL ELECTRICAL FIXTURE TO BE SELECTED BY OWNER/INTERIOR DESIGNER PRIOR TO PURCHASE	
7. ALL FIXTURES TO USE ENERGY EFFICIENT BULBS	
8. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH N.E.C., FLORIDA BUILDING CODE 7th EDITION (2020) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.	

ELECTRICAL LEGEND	
	DUPLEX CONVENIENCE OUTLET
	GROUND FAULT INTERRUPTER DUPLEX OUTLET
	DUPLEX OUTLET IN FLOOR
	RECEPTACLE GROUND FAULT CIRCUIT INTERRUPTER
	CEILING OUTLET
	220V RECEPTACLE
	HALF SWITCH DUPLEX OUTLET
	DUPLEX RECEPTACLE, UNDER COUNTER
	DUPLEX RECEPTACLE, HEIGHT
RECEPTACLE MOUNTED AT 14" A.F.F. TYP. U.N.O.	
	WALL SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DIMMER SWITCH
SWITCHES MOUNTED AT 48" A.F.F. TYP. U.N.O.	
	EXTERIOR WALL SCONCE
	INTERIOR WALL SCONCE
	CHANDELIER LIGHT FIXTURE
	RECESSED INCANDESCENT LIGHT FIXTURE
	EXHAUST FAN
	SPECIAL PURPOSE RECEPTACLE
	SMOKE/ CARBON MONOXIDE DETECTOR
	PUSHBUTTON SWITCH



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103 Manatee Rd, Belleair, FL 33756

Drawing Title:
RCP/ELECTRICAL
PLAN

Revision		
Number	Description	Date

Drawn By: Mila Ivanenko
Date: Project Number
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Sheet:

A103

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1 REAR ELEVATION

SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

APPLICATION OF STUCCO (EXTERIOR PLASTER) MUST BE INSTALLED IN ACCORDANCE WITH FBC R703.7, ASTM C926 AND C1063.

FLASHING NOTES:

DUE TO CLARITY NOT ALL REQUIRED FLASHING ARE INDICATED ON DRAWINGS. REFER TO FBC RES 2023 (8TH EDITION), SECTION R703.4, AND R903.2 APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED AT ALL ROOFING SYSTEM INTERRUPTIONS, TERMINATIONS, INTERSECTIONS, AND PENETRATIONS AND IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1-1/8 INCHES (28 MM) OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING. JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.
8. WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION.
9. AT ROOF CRICKET OR SADDLE.
10. AROUND ROOF OPENINGS.

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PROPOSED
ELEVATIONS

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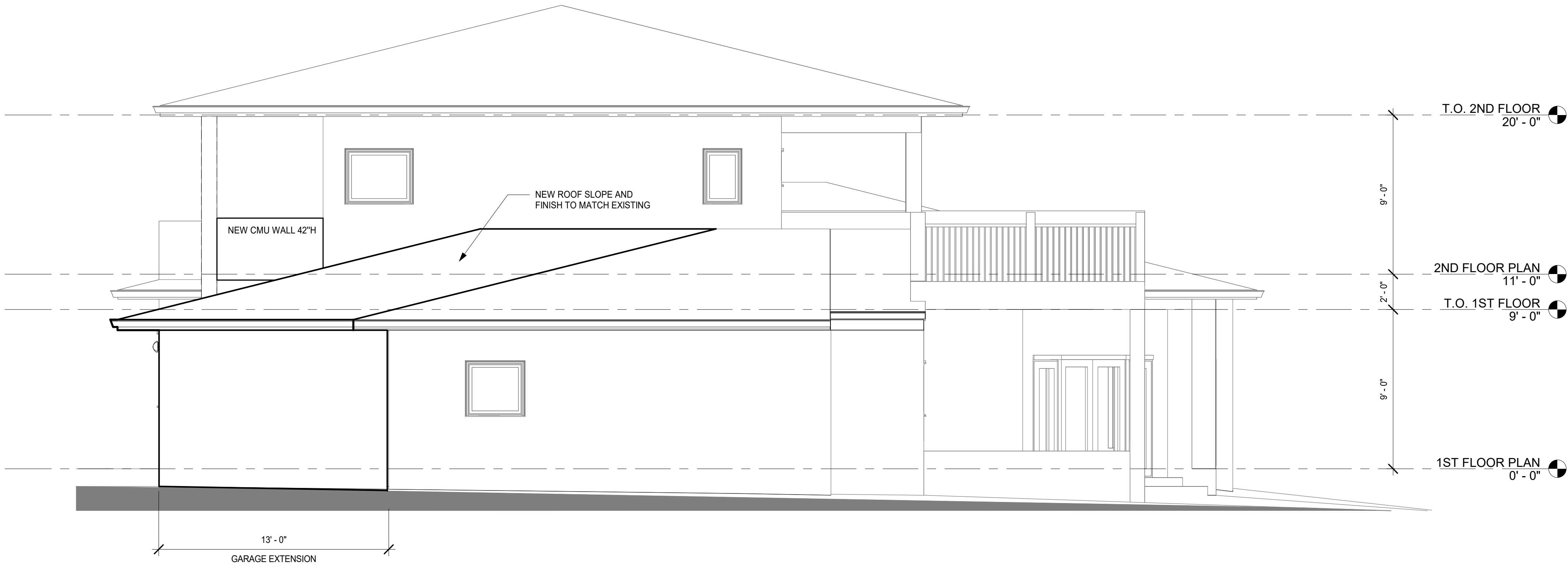
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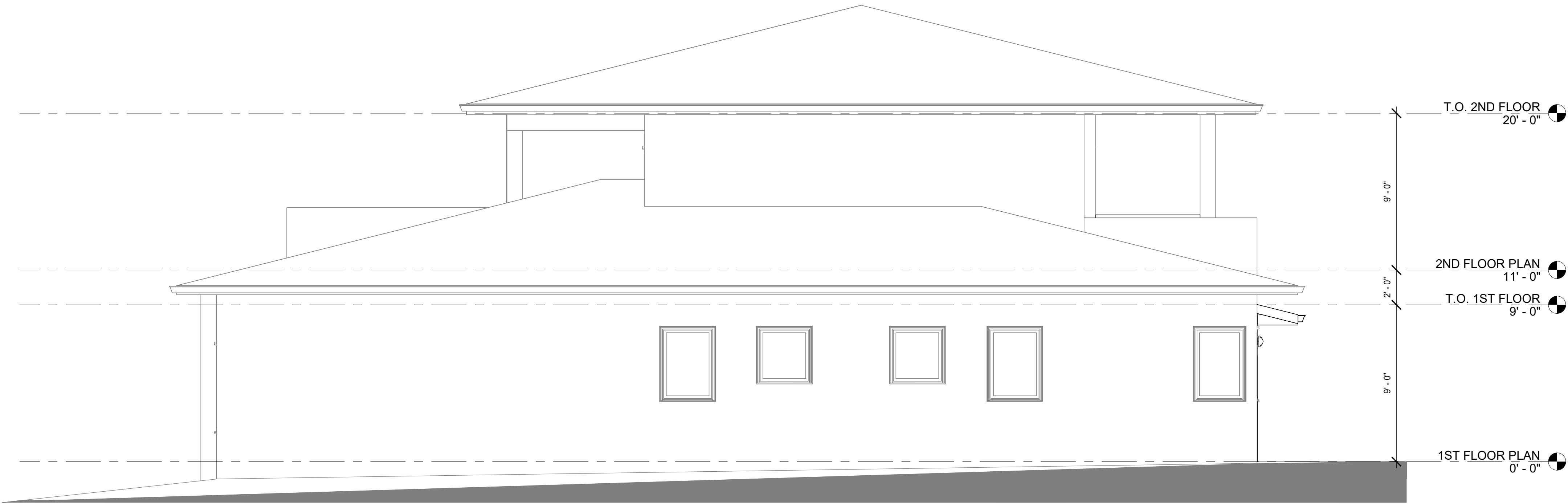
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SCALE: 1/4" = 1'-0"



2 EAST ELEVATION

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APPLICATION OF STUCCO (EXTERIOR PLASTER) MUST BE INSTALLED IN ACCORDANCE WITH FBC R703.7, ASTM C926 AND C1063.

FLASHING NOTES:

DUE TO CLARITY NOT ALL REQUIRED FLASHING ARE INDICATED ON DRAWINGS. REFER TO FBC RES 2023 (8TH EDITION), SECTION R703.4. AND R903.2 APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED AT ALL ROOFING SYSTEM INTERRUPTIONS, TERMINATIONS, INTERSECTIONS, AND PENETRATIONS AND IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1-1/8 INCHES (28 MM) OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.
8. WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION.
9. AT ROOF CRICKET OR SADDLE.
10. AROUND ROOF OPENINGS.

WINDOW NOTE:

ALL NEW WINDOWS MUST MEET A MINIMUM 'U'-VALUE OF 0.4 OR LESS AND A 'SHGC' OF 0.25 OR LESS. (UTILIZING THE PRESCRIPTIVE METHOD FOR EXISTING STRUCTURES)

*EGRESS NOTE:

EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES. IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR. THE WINDOW MUST HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM

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Project Status:
PERMIT SET

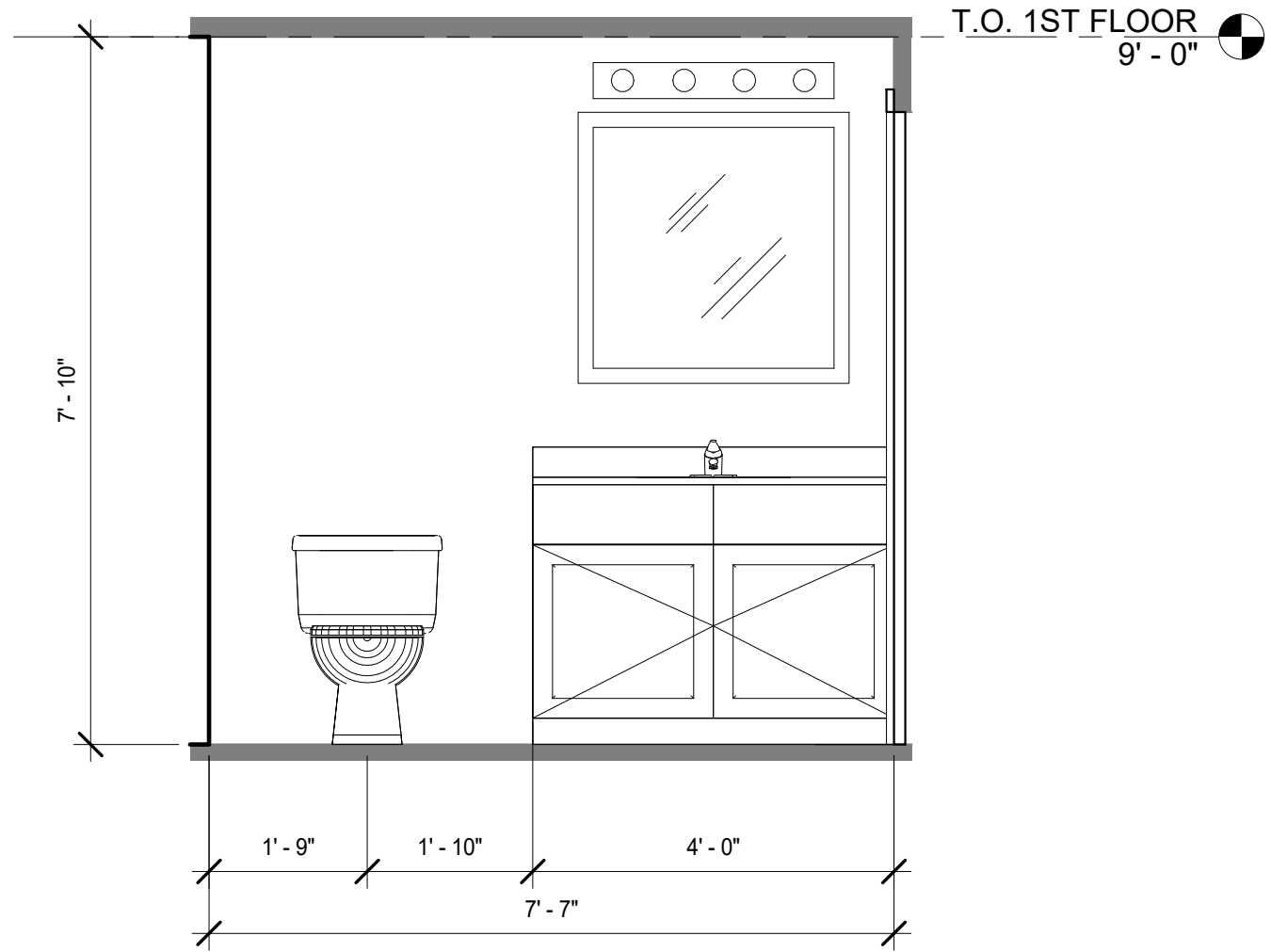
Project:
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Residence
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Drawing Title:
PROPOSED
ELEVATIONS

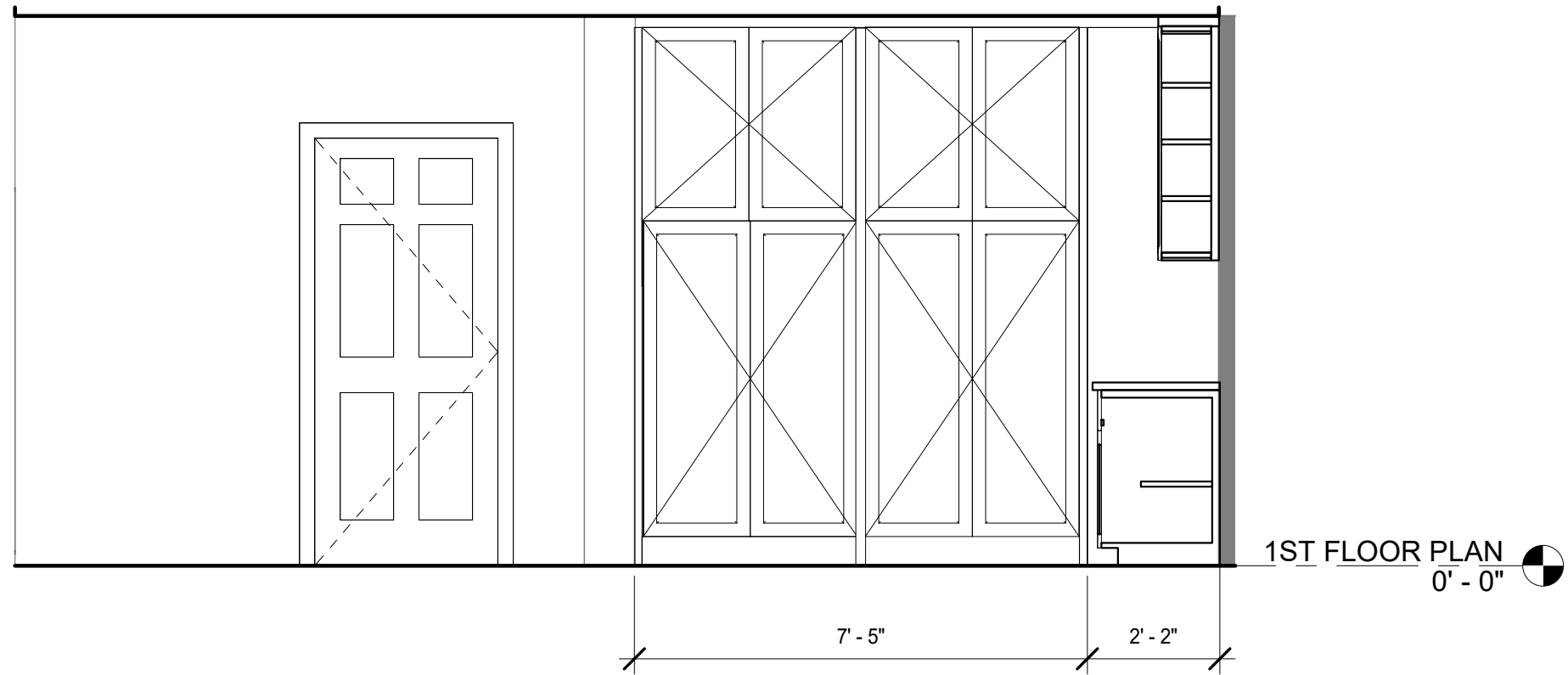
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Number	Date
Description	Date

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Date: 05/23/25
Project Number

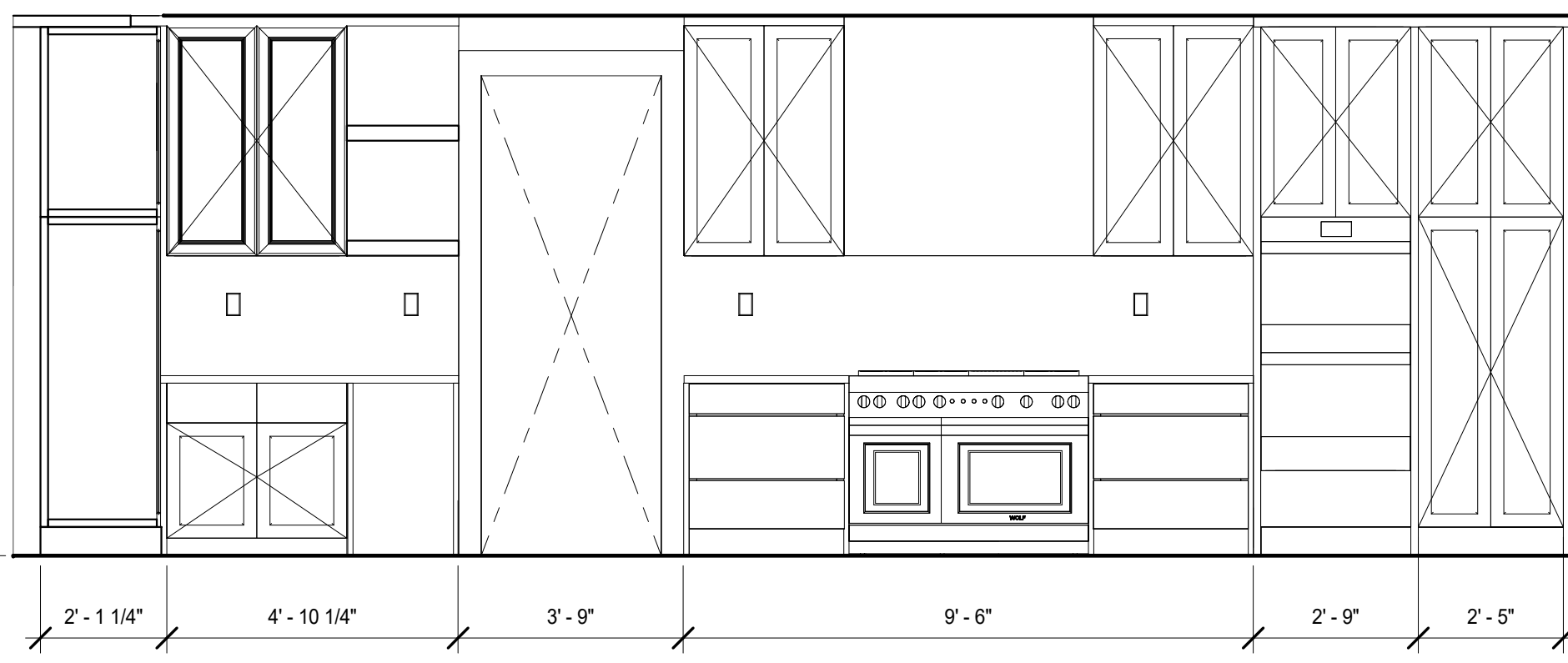
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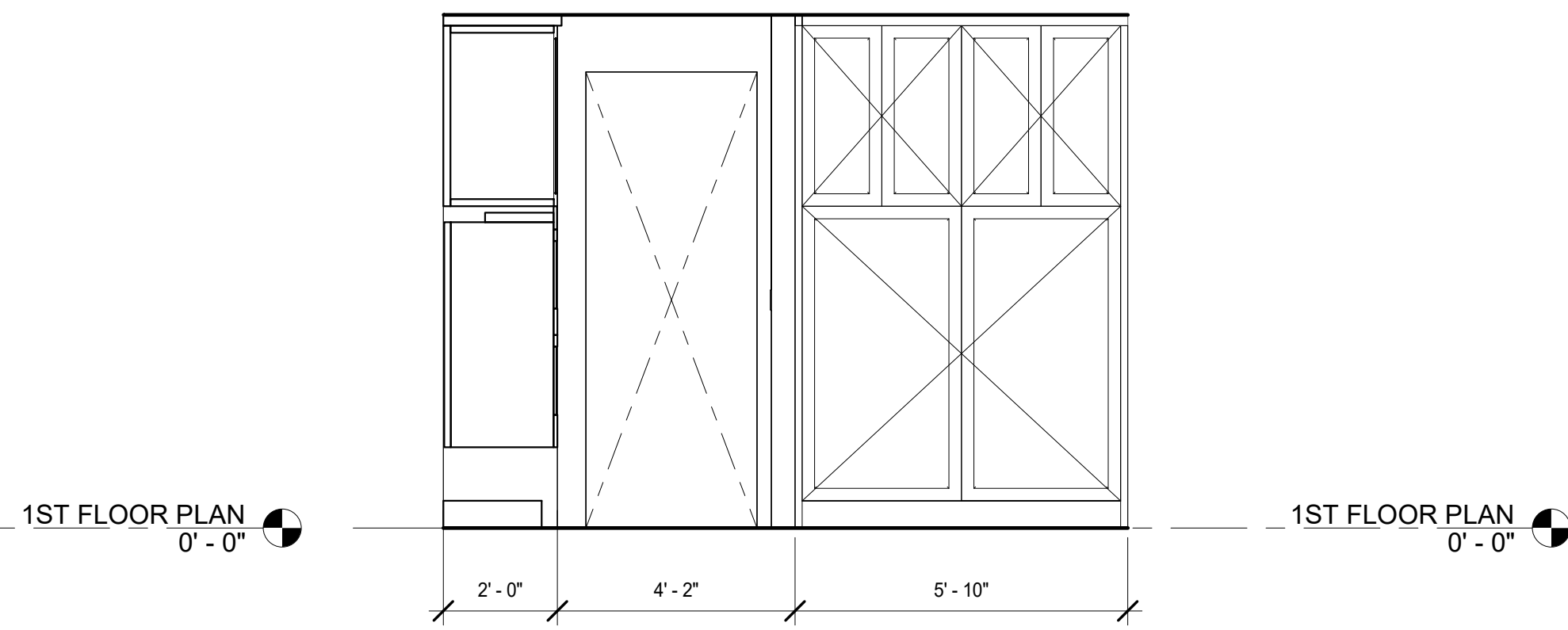
4 Bathroom Elevation
SCALE: 1/2" = 1'-0"



3 Kitchen Elevation 1
SCALE: 3/8" = 1'-0"



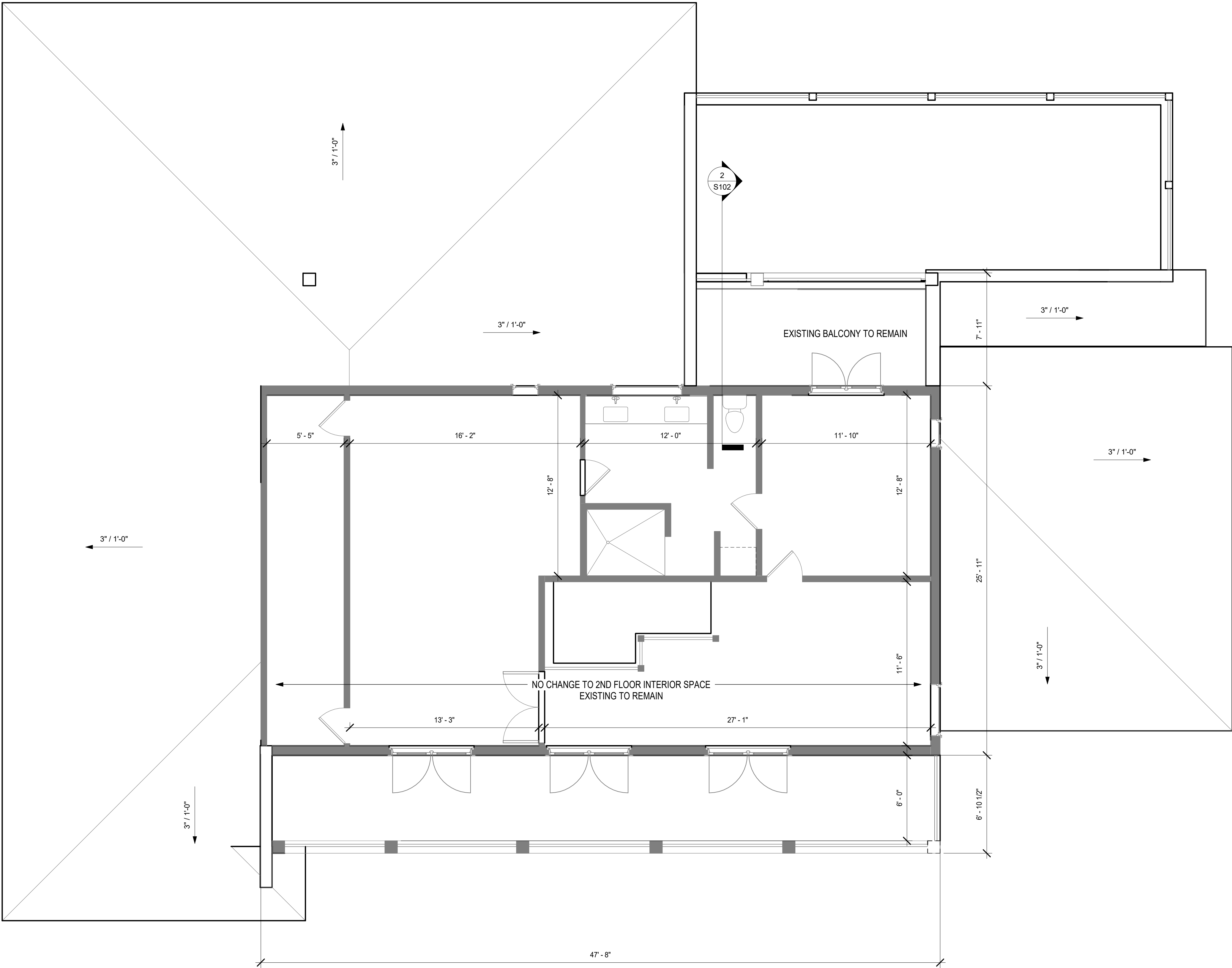
1 Kitchen Elevation 2
SCALE: 3/8" = 1'-0"



2 Kitchen Elevation 3
SCALE: 3/8" = 1'-0"



Number	Revision	
	Description	Date



LEGEND	
	EXISTING TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED

1 2ND FLOOR PLAN (EXISTING)

SCALE: 1/4" = 1'-0"



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Drawing Title:

EXISTING 2ND
FLOOR PLAN

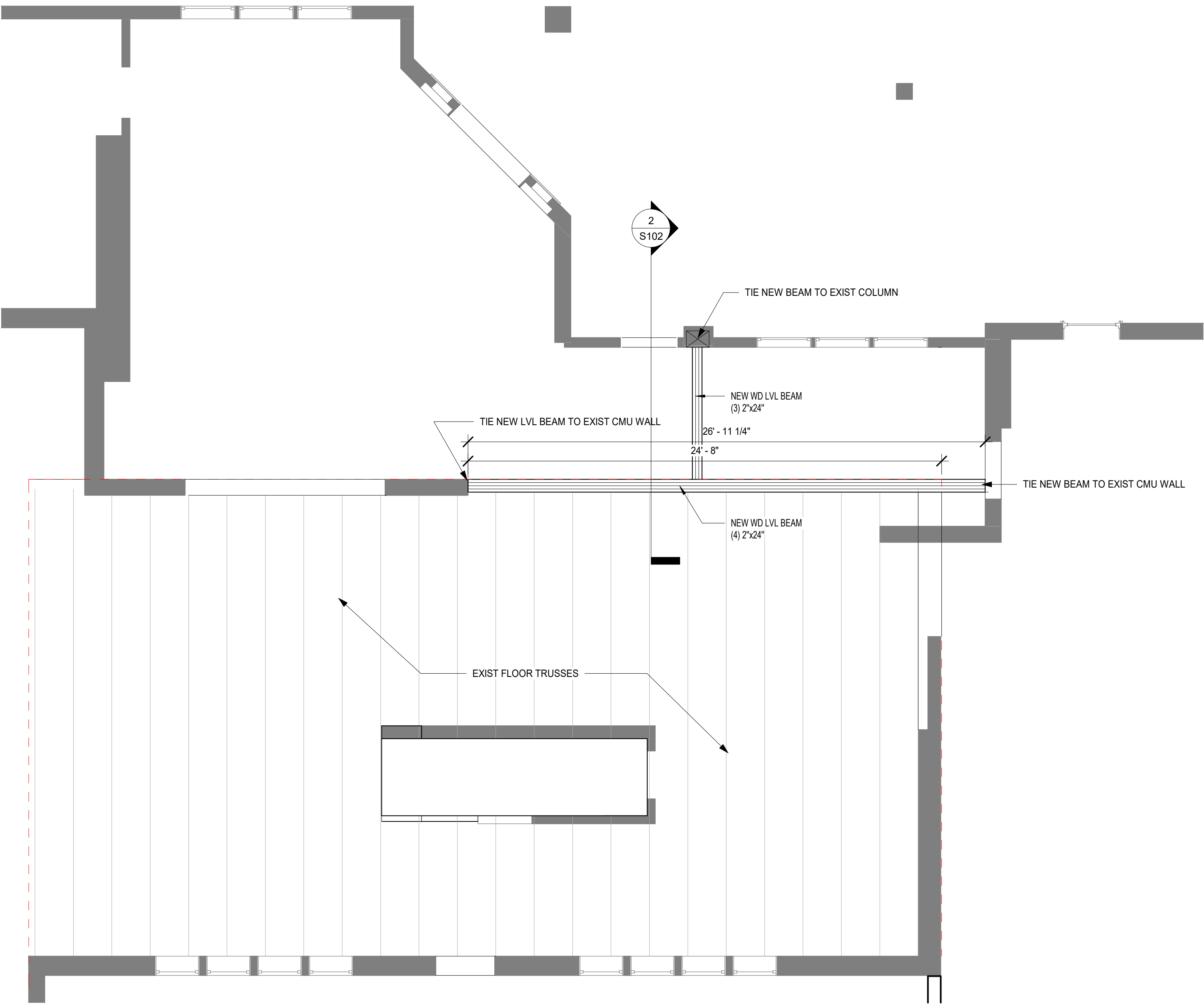
Revision		
Number	Description	Date

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EX102

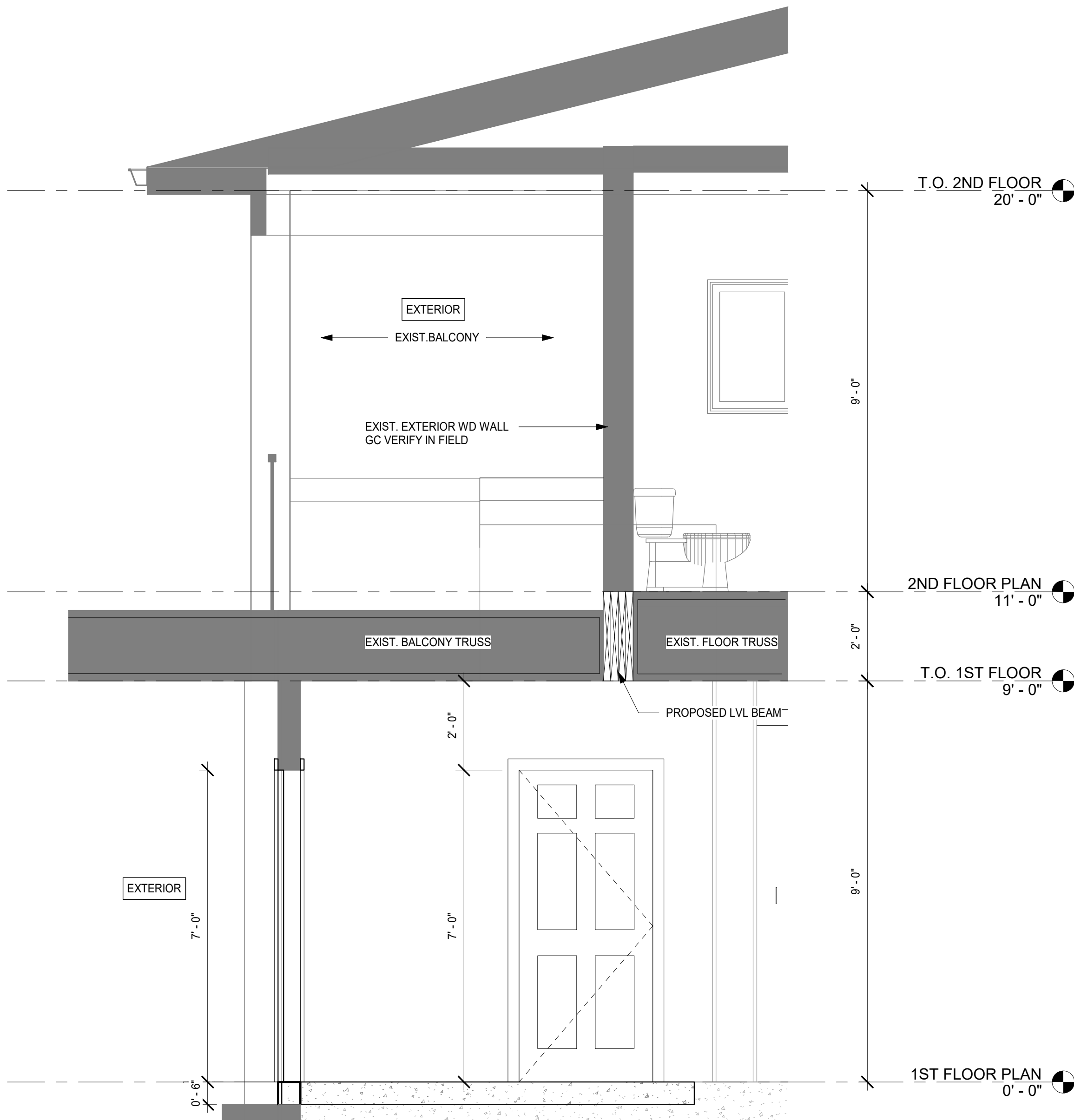
S101



1 1ST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

1. PLAN DIMENSIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL DIMENSIONS, OPENINGS, ETC WITH ARCHITECTURAL, MECHANICAL, CIVIL, PLUMBING AND ELECTRICAL DRAWINGS PRIOR TO FABRICATION.
2. CONTRACTOR TO COORDINATE TRUSS PROFILES, CEILING HEIGHTS, FLOOR OPENINGS AND EQUIPMENT WEIGHTS PRIOR TO FABRICATION.
3. CONTRACTOR TO COORDINATE MECHANICAL DUCT LAYOUT THROUGH OR BETWEEN FLOOR TRUSSES WITH TRUSS FABRICATOR PRIOR TO FABRICATION.
4. ALL WOOD AGAINST CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
5. ARCHITECT MAKES ASSUMPTIONS ABOUT EXISTING STRUCTURAL CONDITIONS. GC TO COORDINATE FINAL DESIGN OF THE PROPOSED LVL BEAM WITH AN ARCHITECT PRIOR TO CONSTRUCTION. EXISTING CONDITIONS WILL NEED TO BE VERIFIED IN FIELD. WILL BE ALTERED AS REQUIRED.
6. EXISTING FOOTER TO BE VERIFIED IN FIELD. MODIFICATIONS MAY BE NECESSARY TO COORDINATE WITH A NEW BEAM.



2 Section 1
SCALE: 1/2" = 1'-0"



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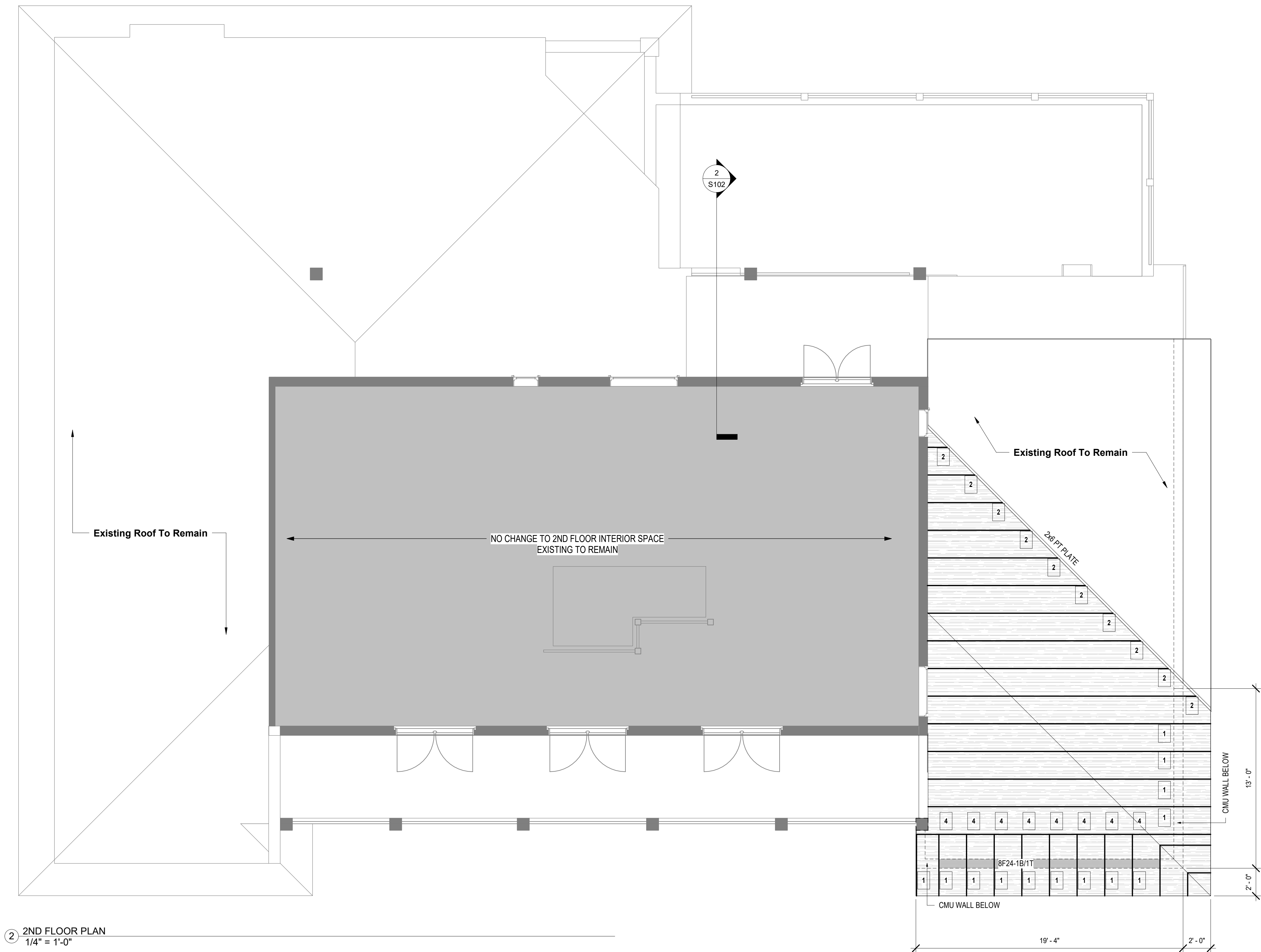
FIRST FLOOR
FRAMING PLAN

Number	Revision	
	Description	Date

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Date: Project Number
05/23/25

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S102



GENERAL NOTES

- A WORK AREAS TONED IN GRAY ARE NOT IN CONTRACT. PARTITIONS FACING AREA OF WORK ARE IN SCOPE.
- B GC TO FIELD VERIFY EXISTING T.O CMU WALL HEIGHT AND BEARING CONDITION. MATCH EXISTING.
- C GC TO FIELD VERIFY EXISTING CONCRETE SLAB HEIGHT AND MATCH EXISTING HEIGHT
- D REBAR LAP 48 BAR DIAMETERS
- E MIN. LAP BEARING 4"

STRAP SCHEDULE

STRAP SCHEDULE				
MARK	LOCATION	STRAP	FASTENER	ALLOWABLE UPLIFT
1	CMU TO SLOPED TRUSS	HETA 20	(9) 0.148 x 1 1/2" EACH	1810 #
2	OVERBUILT / OUTLOOKERS	H2.5	5-8d X 1-1/2" EACH	535#
4	OUTLOOKERS	H1A	((4) 0.131 x 1 1/2" EACH	545#

LINTEL SCHEDULE

PRE-CAST / PRE-STRESSED CONCRETE LINTEL SCHEDULE

MARK NO.		DESIGNATION MIN SAFE LOAD (PLF) GIRTY / JOIST
3'-4" DOOR	PRECAST	8FB-1B
4'-8" DOOR	PRECAST	8FB-1B
6'-4" DOOR	PRECAST	8FB-1B
8'-8" DOOR	PRECAST	8FB-1B
4'-8" WINDOW	PRECAST	8FB-1B
5'-4" WINDOW	PRECAST	8FB-1B
8'-0" WINDOW	PRECAST	8FB-1B
12'-0" WINDOW	PRECAST	8FB-24-1B/1T

NOTES:

THIS TABLE BASED ON PRECAST/PRESTRESSED LINTLES AVAILABLE BY "CAST CRETE / FLORIDA ENGINEERED CONSTRUCTION PRODUCTS (TEL: 813-691-4641)". PRECAST/PRESTRESSED LINTLES BY OTHER MANUFACTURERS SHALL MEET OR EXCEED SAME LOAD CAPACITIES, MATERIALS AND PERFORMANCE CRITERIA.

REFER TO "STRUCTURAL NOTES," SHEET S-0, UNDER "MASONRY CONNECTION" FOR ADDITIONAL CONSTRUCTION AND MATERIAL REQUIREMENTS.

REINFORCING PLACEMENT IN LINTLES SHALL EXTEND 2'-0" MIN BEYOND OPENINGS.

TYPE DESIGNATION (SAMPLE)

F = FILLED WITH GROUT
U = UNFILLED

= QUANTITY OF CONT. REINFC CANTY AT BOTTOM OF LINTEL CAVITY

8FB-1B-1/T

L = QUANTITY OF CONTINUOUS REINFORCING AT TOP

The diagram shows a cross-section of a rectangular lintel. The total width is labeled as 8" MINIMUM. The height is labeled as 12" MINIMUM. Reinforcement includes:

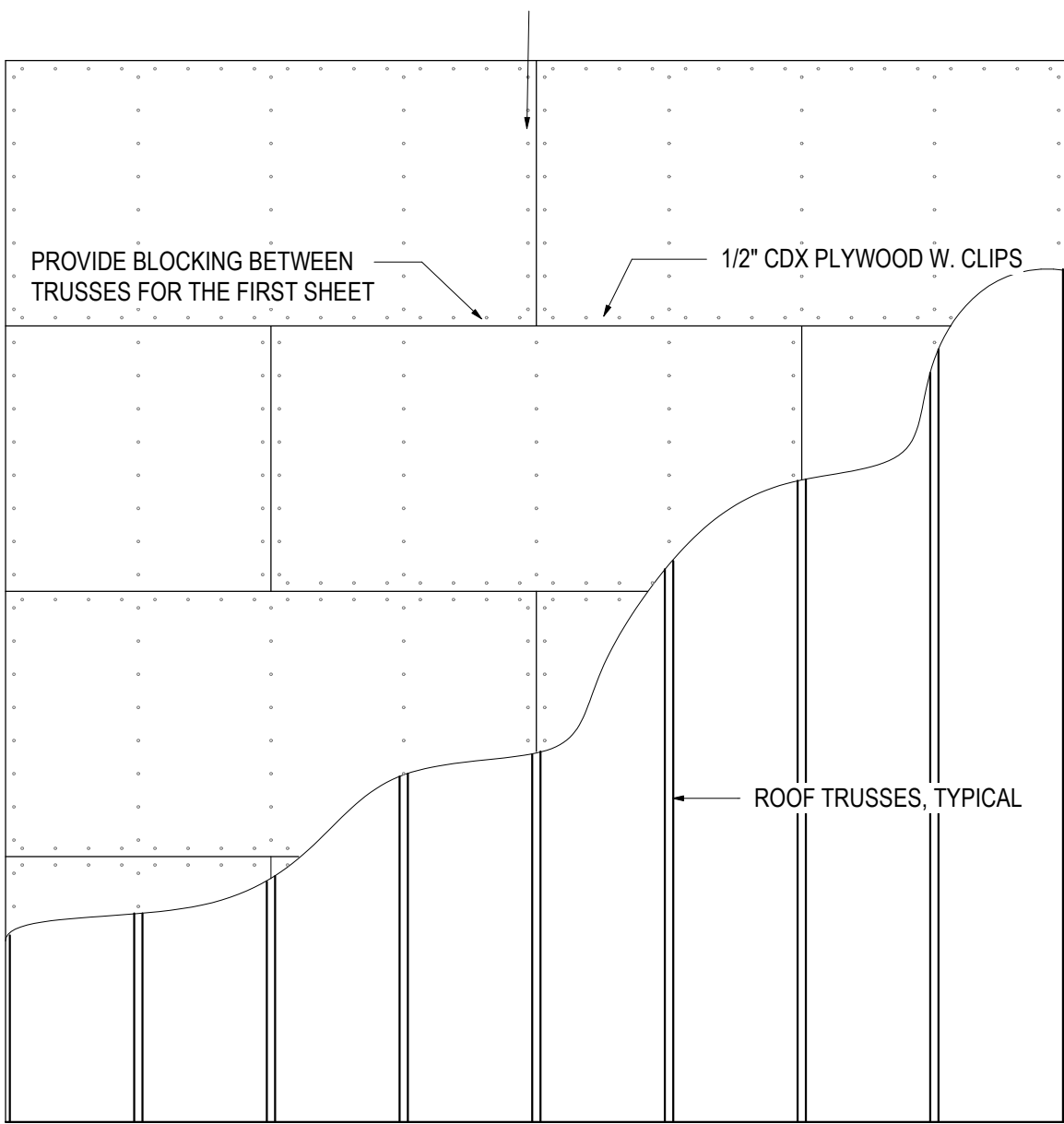
- A top bar (1#) bent up at an angle, labeled 'REBAR AT TOP SEE SCHEDULE'.
- A bottom bar (1#), labeled '#5 REBAR AT BOTTOM OF LINTEL CAVITY IF REQUIRED'.
- Two vertical bars (1# each) on either side of the bottom bar, labeled 'STIRRUP IF REQUIRED (SINGLE LEG)' and 'GROUT'.
- A horizontal bar (1#) at the very top, labeled '1"-1/2" CLEAR'.
- A horizontal bar (1#) below it, labeled 'K.O BLOCK WHERE TOP REINF. REQUIRED'.

NOMINAL WIDTH

NOMINAL HEIGHT

10d DEFORMED NAILS SPACED @ 4" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS AND @ 4" O.C. AT INTERIOR SUPPORTS FOR ROOF ZONE 1

10d DEFORMED NAILS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS AND @ 6" O.C. AT INTERIOR SUPPORTS FOR ROOF ZONES 2 & 3



1 TYP ROOF NAILING PATTERN



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Project Status:
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Project:

**Anzalone
Residence**

Drawing Title:

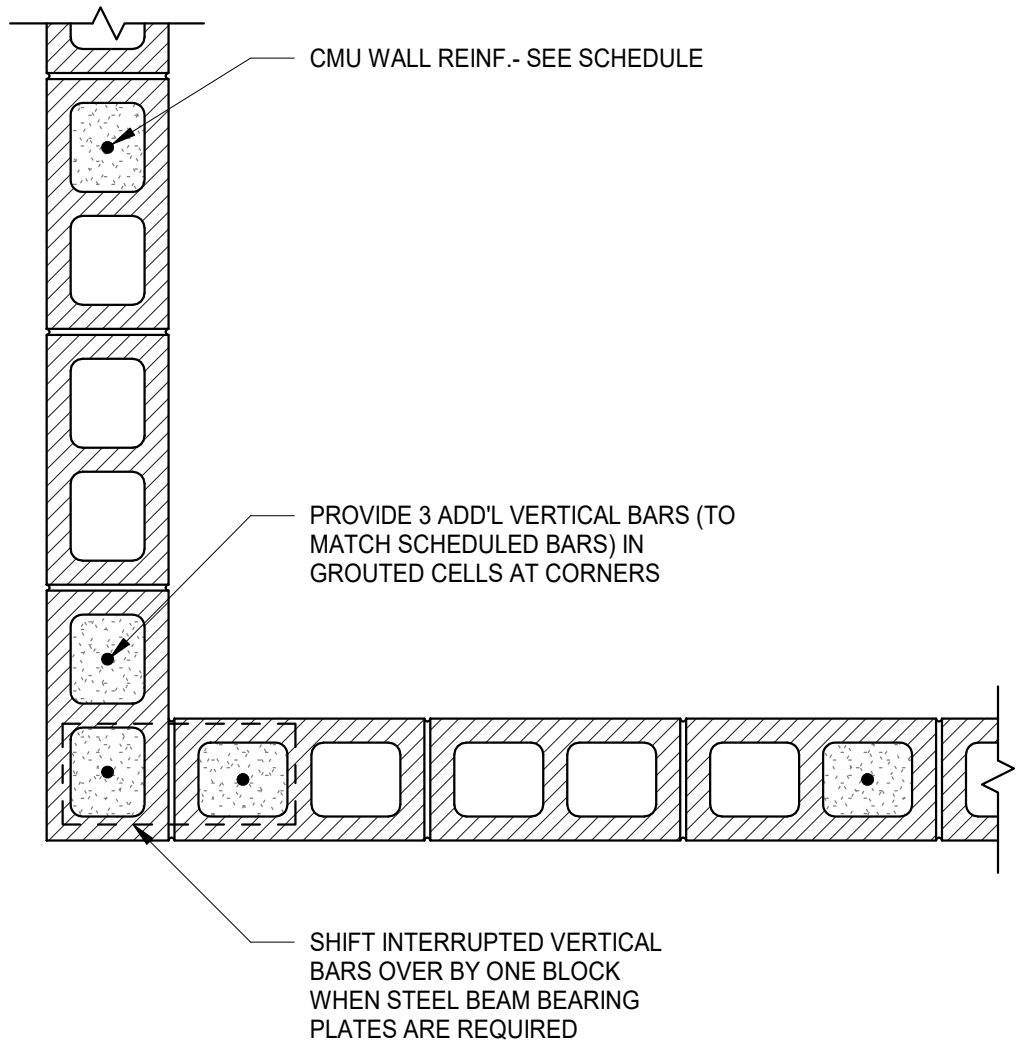
ROOF FRAMING PLAN

Revision		
Number	Description	Date

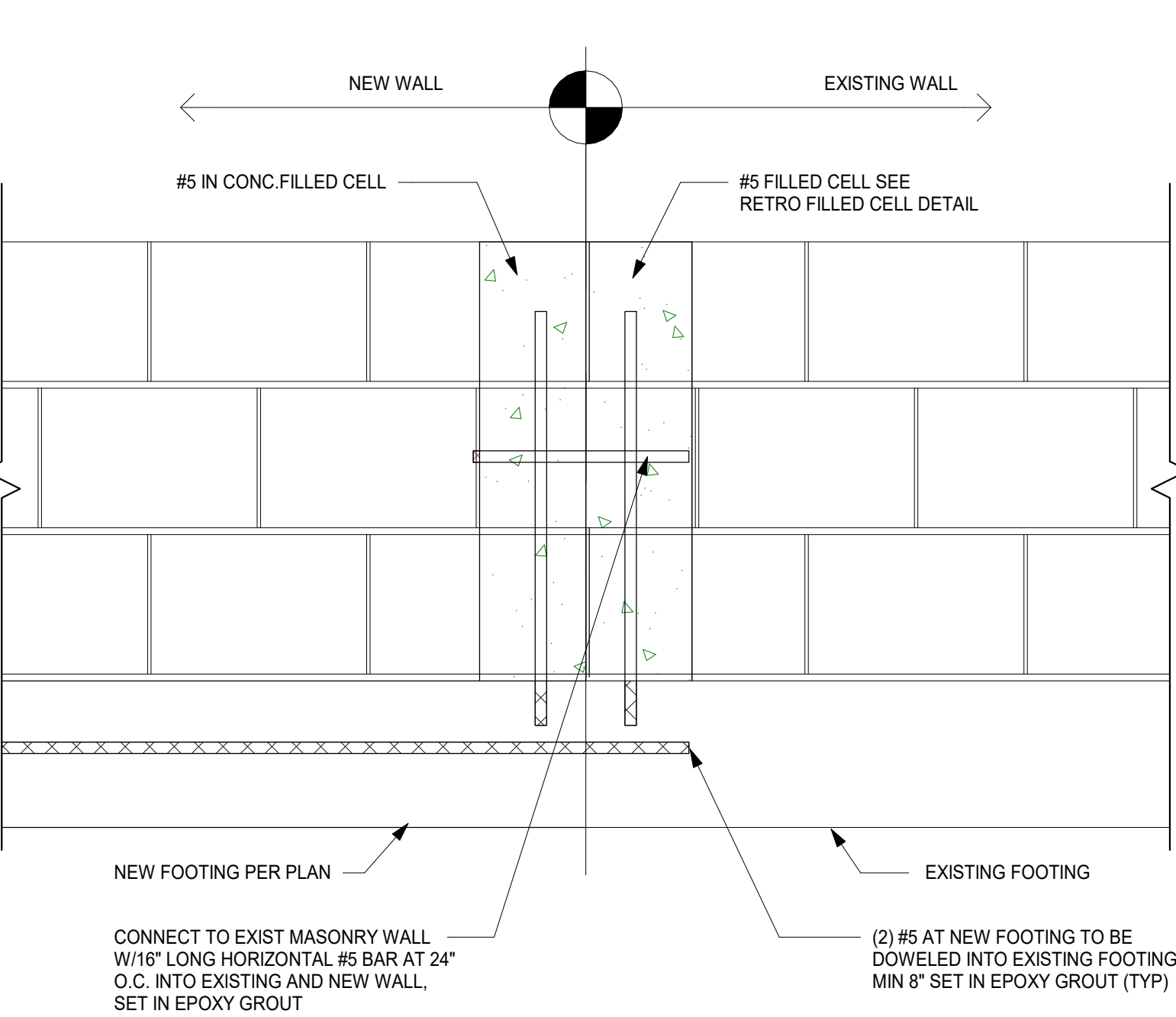
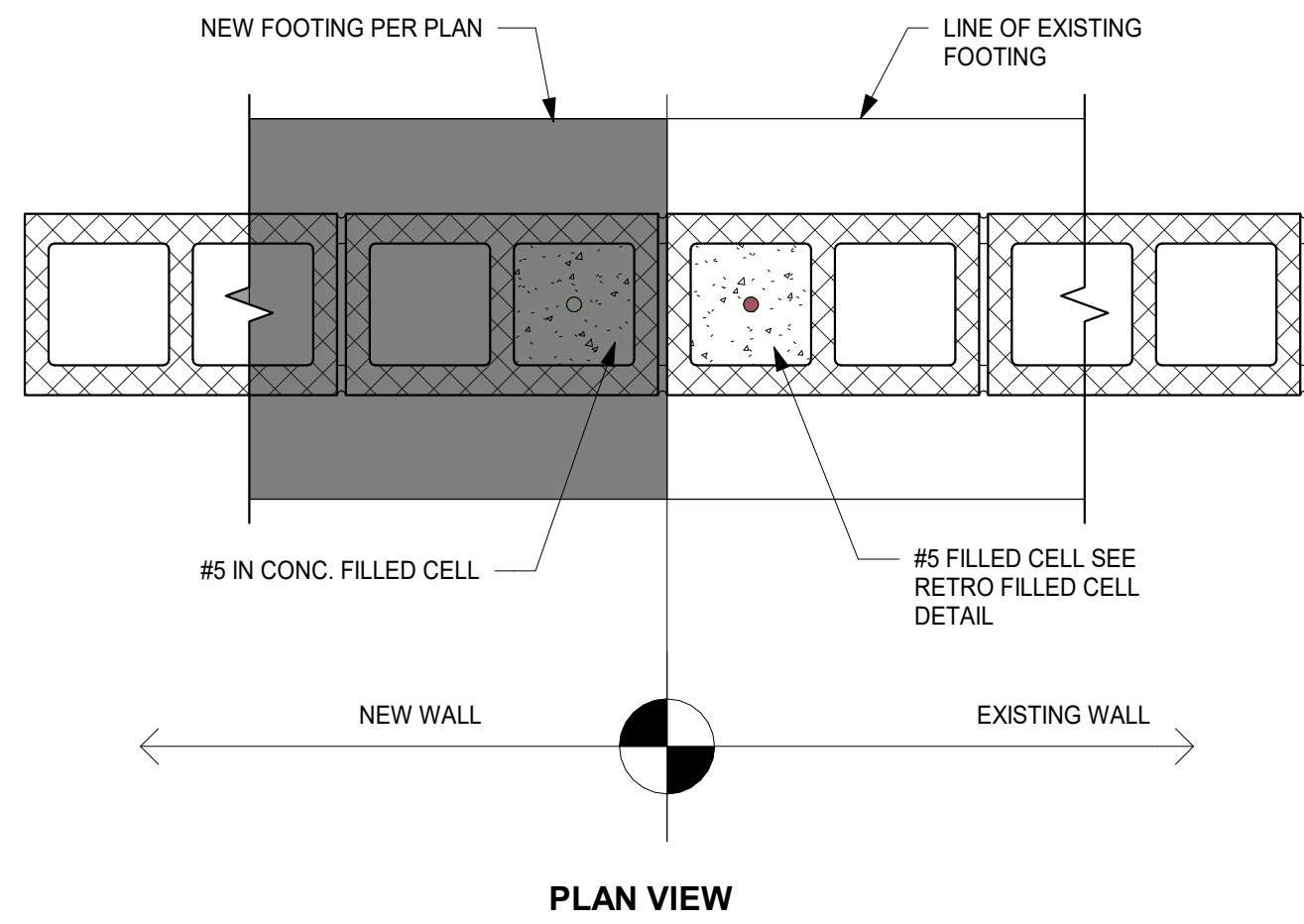
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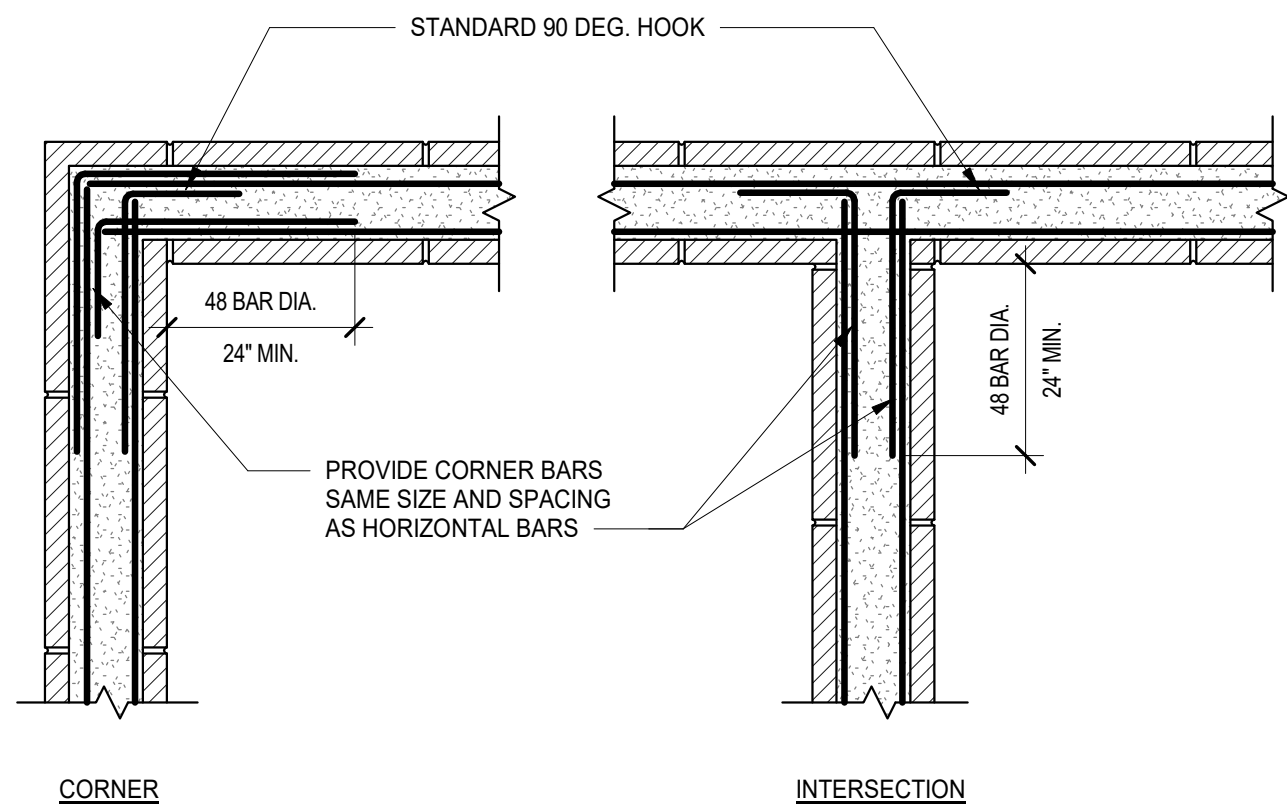
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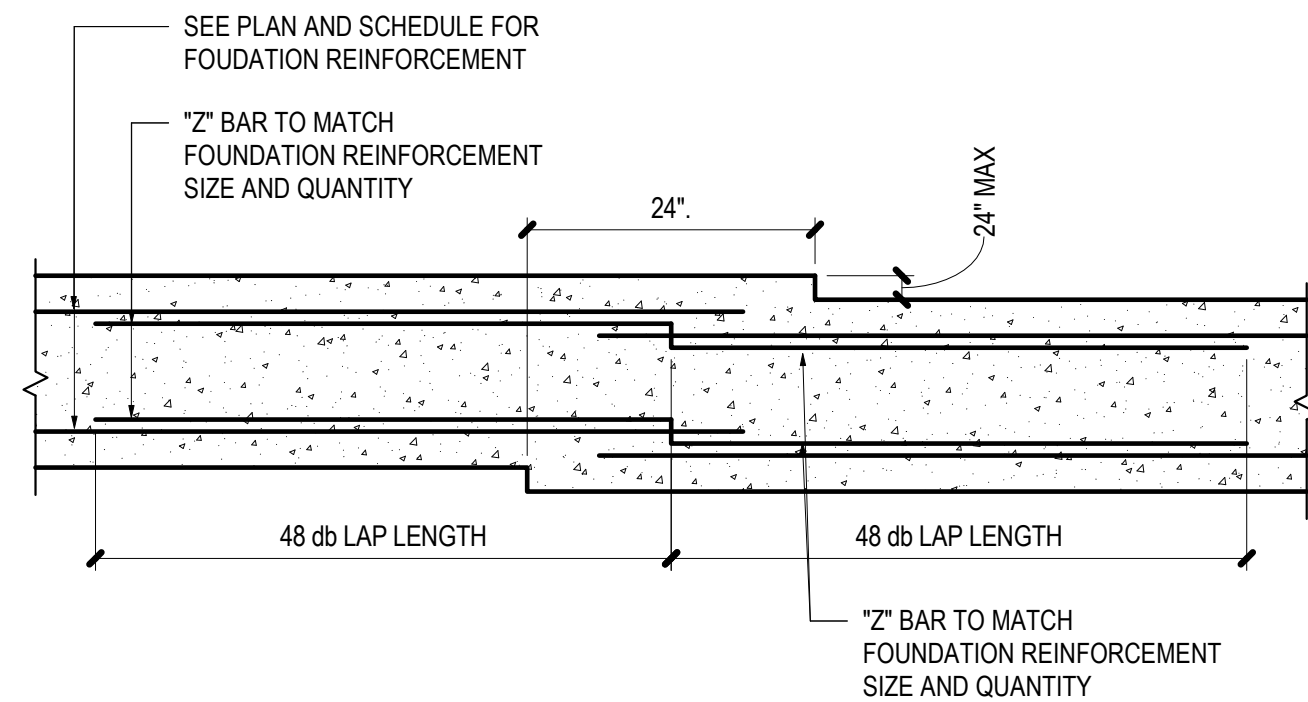
1 TYP. CMU WALL CORNER REINF. DET.
SCALE: 1" = 1'-0"



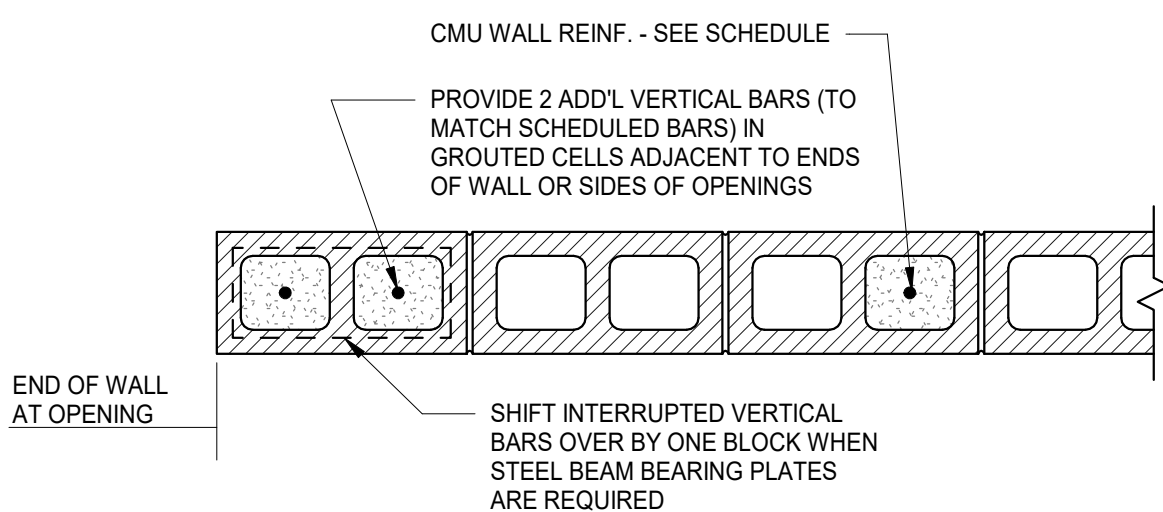
2 EXIST. TO NEW MASONRY WALL CONNECTION
SCALE: 1 1/2" = 1'-0"



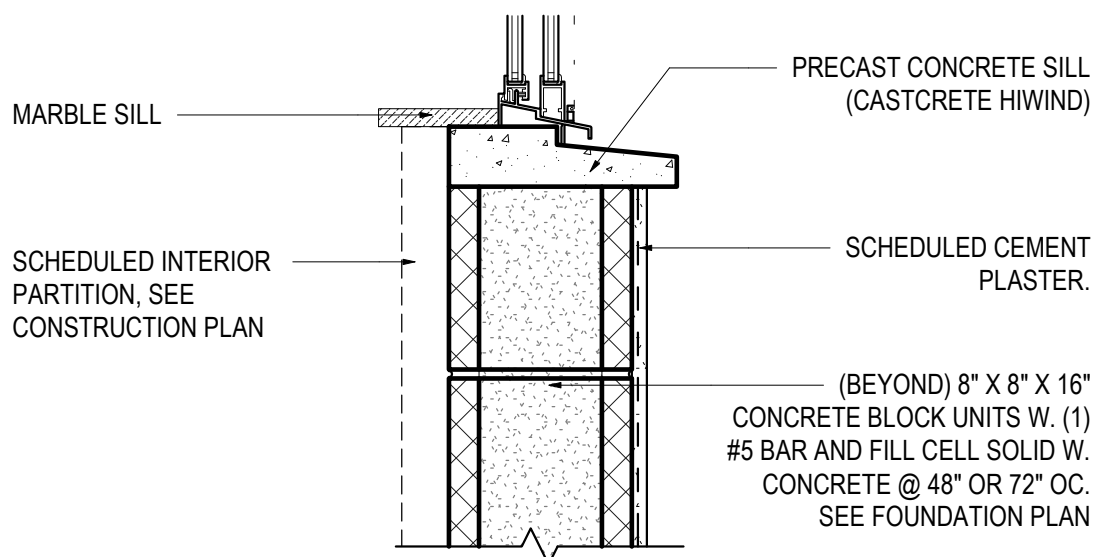
5 BOND BEAM HOR. CORNER BAR DET
SCALE: 1" = 1'-0"



8 FOUNDATION STEP DOWN
SCALE: 3/4" = 1'-0"



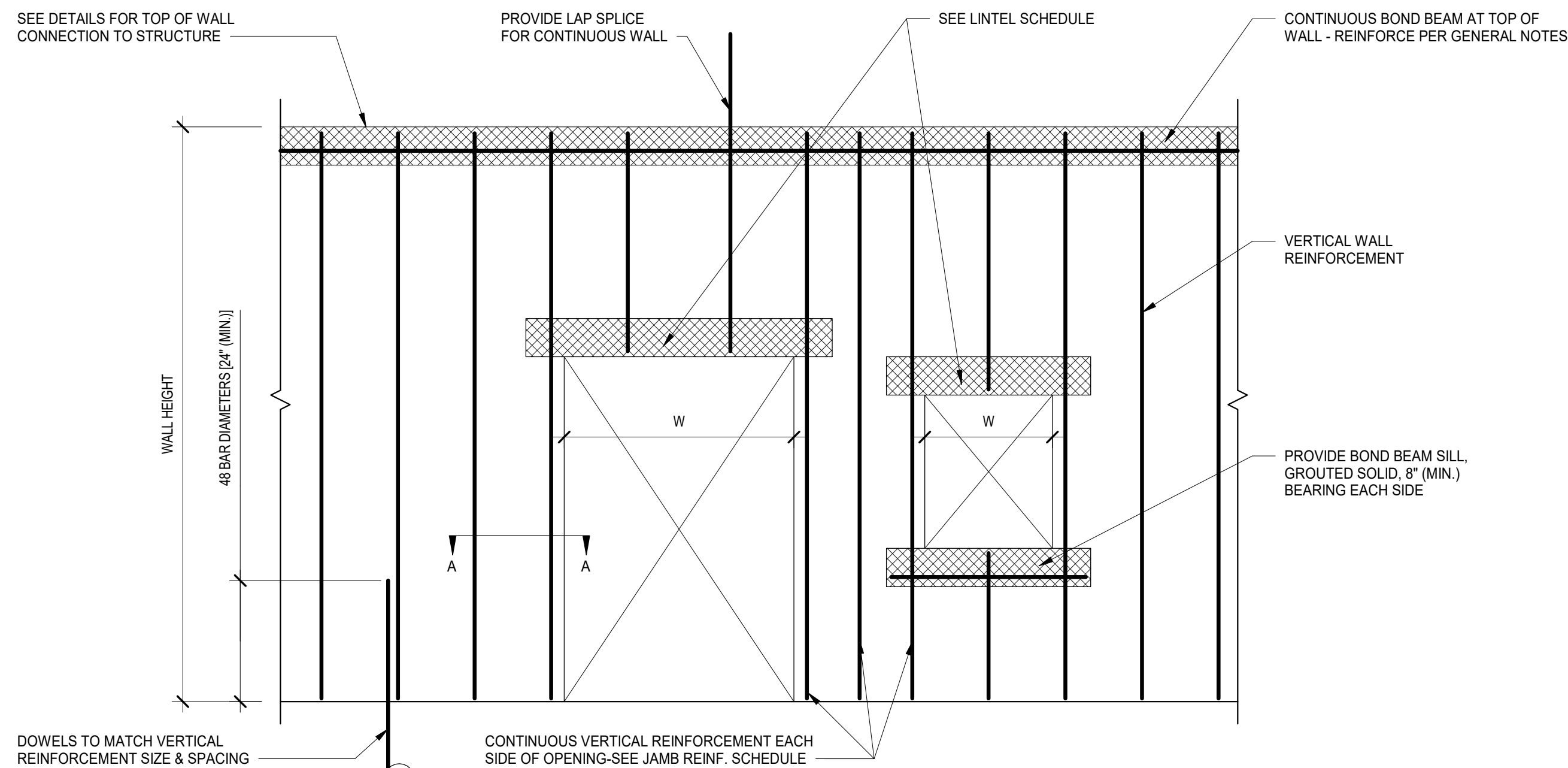
4 TYP CMU WALL END REINF. DET.
SCALE: 1" = 1'-0"



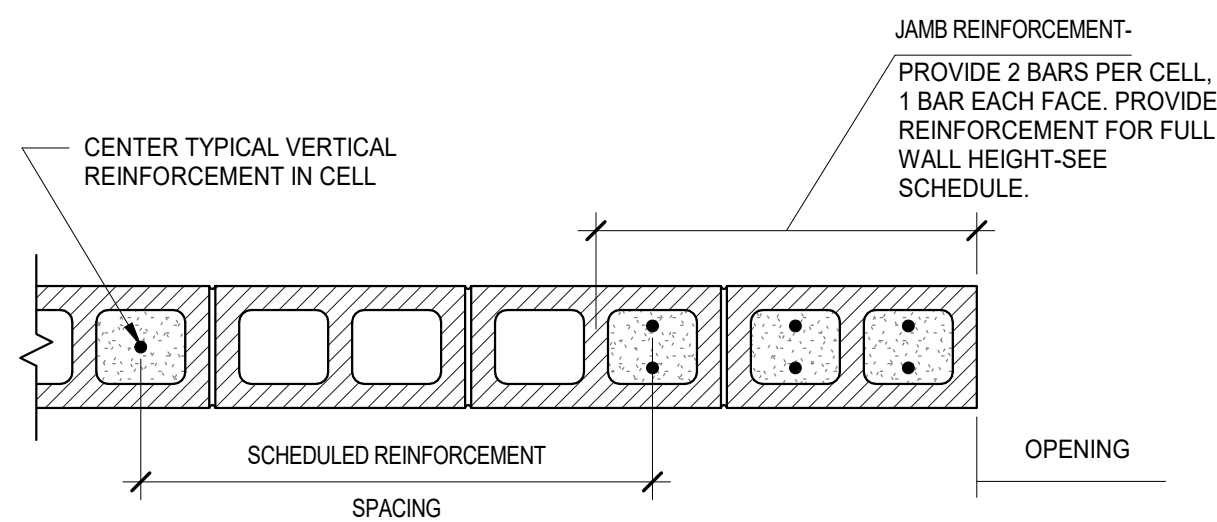
3 WINDOW SILL
SCALE: 1 1/2" = 1'-0"

KEYNOTE LEGEND FOR DETAIL		FBC2023
KEYNOTE	ANNOTATION	
1	CONCRETE SLABS ON GRADE SHALL BE PROVIDED WITH JOINTS IN ACCORDANCE WITH ACI 224.3R OR OTHER APPROVED METHODS. JOINTS ARE ONLY REQUIRED IN UNREINFORCED PLAIN CONCRETE SLABS THAT COMPLY WITH FBC 8TH EDITION (2023), RES., SEC. R506.2.4	
2	1 1/4" DEEP SAWCUT CONTROL JOINT, TIME FRAME WITHIN 4 TO 12 HOURS AFTER THE CONCRETE HAS BEEN FINISHEDS (SEE PLAN FOR EXACT LOCATIONS), CLEAN AND SEAL JOINT AGAINST SOIL-GAS ENTRY (FBC 8TH EDITION (2023), SEC. F303.3)	
3	CONCRETE SLAB OVER VAPOR RETARDER OVER SELECT WELL-GRADED, TERMITE TREATED FILL COMPACTED TO 95% MAXIMUM DENSITY, REINFORCING AS DESIGNED BY ARCHITECT OR ENGINEER.	
4	CONCRETE SLAB: SHALL BE 3-1/2" THICK (4" IN HIGH VELOCITY AREA) AND SHALL MEET MIN COMPRESSIVE STRENGTH AS SPECIFIED BY THE ARCHITECT OR ENGINEER. (FBC 8TH EDITION (2023), RES. SEC. R506.1, F303.4.5)	
5	VAPOR RETARDER: 6 MIL. POLYETHYLENE OR APPROVED EQUAL WITH JOINTS LAPPED NOT LESS THAN 6". THE VAPOR RETARDER MAY BE OMITTED FROM GARAGES, UTILITY BUILDINGS OR OTHER UNHEATED ACCESSORY STRUCTURES (FBC 8TH EDITION (2023), RES. SEC. R506.2.3)	
6	REINFORCING: REINFORCED PURSUANT TO ACI 318 SEC 2.3, WELDED WIRE REINFORCEMENT MESH PLACED IN THE MIDDLE OF THE UPPER THIRD OF THE SLAB AND IN ACCORDANCE WITH THE PLAN SPECIFICATIONS OR SYNTHETIC FIBER REINFORCEMENT INSTALLED AS DIRECTED BY THE MANUFACTURER OR SUPPLIER. (FBC 8TH EDITION (2023), RES. SEC. 506.2.4)	

6 TYP SLAB-ON-GRADE CONT JOINT DETAIL
SCALE: 3/4" = 1'-0"



VERTICAL JAMB REINFORCEMENT SCHEDULE				
WALL HEIGHT	OPENING SIZE (W)			
	<8'-0"	>8'-0" <10'-0"	>10'-0" <12'-0"	>12'-0" <14'-0"
10'-0" OR LESS	2-#5	2-#6	2-#7	4-#5



NOTE:
1. BARS SHALL BE LOCATED WITH VERTICAL BAR POSITIONERS.
2. ADJUST VERTICAL BAR LOCATION TO AVOID STEEL LINTEL BEARING.

SECTION "A"

7 TYPICAL CMU WALL REINFORCEMENT DETAIL
SCALE: 1" = 1'-0"



Number	Revision	
	Description	Date

