

ANZALONE RESIDENCE

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ARCHITECTURE

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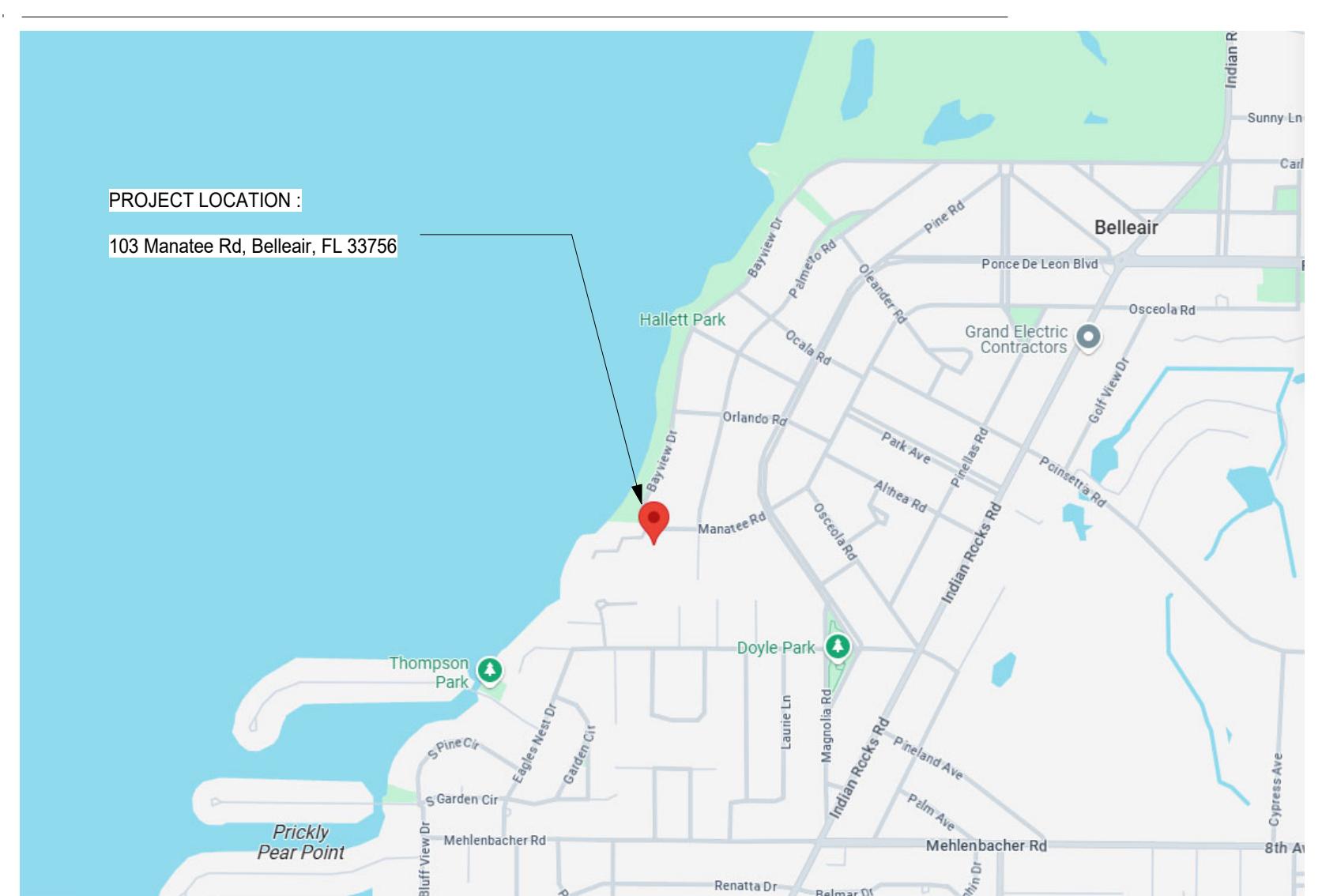
John Pantazes, AIA
LIC. # 92860

GENERAL CONTRACTOR

N9NE CONSTRUCTORS, INC.
1715 MISSOURI AVE N #8
Clearwater, Florida 33756

Matt Jamison, President
PHONE: 727.286.7783
EMAIL: matt@n9neconstructors.com

PROJECT LOCATION MAP



CODE REFERENCES

8TH EDITION (2023) FLORIDA BUILDING CODE
8TH EDITION (2023) FLORIDA EXISTING BUILDING CODE
8TH EDITION (2023) FLORIDA ACCESSIBILITY CODE
8TH EDITION (2023) FLORIDA ENERGY CONSERVATION CODE
8TH EDITION (2023) FLORIDA MECHANICAL CODE
8TH EDITION (2023) FLORIDA PLUMBING CODE
8TH EDITION (2023) FLORIDA FUEL GAS CODE
8TH EDITION (2023) FLORIDA BUILDING CODE TEST PROTOCOLS
8TH EDITION (2023) EDITION FLORIDA FIRE PREVENTION CODE

2020 NATIONAL ELECTRICAL CODE (NFPA 70)

PROJECT SCOPE

ALTERATION OF THE EXISTING GARAGE
ADD NEW POWDER ROOM

PROJECT INFORMATION

BUILDING ADDRESS: 103 MANATEE RD, BELLEAIR, FL 33756
OCCUPANCY TYPE: PRIMARY USE/OCCUPANCY = (R3) RESIDENTIAL, SINGLE FAMILY HOME (EXISTING)
CONSTRUCTION TYPE: VB (EXISTING)
WORK CLASSIFICATION: LEVEL 2 ALTERATION (RESIDENTIAL ADDITION)
ZONING / LAND USE R3 / RL
FLOOD ZONE X
BUILDING AREA:

EXISTING SQUARE FOOTAGE	GROSS AREA
EXISTING HOUSE	3,821 SF

PROPOSED SQUARE FOOTAGE	GROSS AREA
NEW ADDITION	245 SF

DRAWING INDEX

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Anzalone Residence

103 Manatee Rd, Belleair, FL 33756

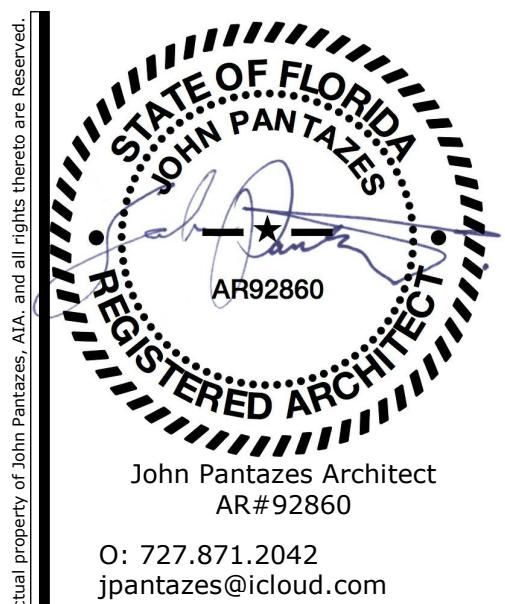
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Description Date

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Date: Project Number
05/23/25
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Project Status:
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Project:



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Project:

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103 Manatee Rd, Belleair, FL 33756

Drawing Title:
PROPOSED FLOOR PLAN

Number	Revision
	Description Date

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Date: Project Number
05/23/25

Sheet:

A101

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DOOR SCHEDULES

DOOR SCHEDULE				
DOOR #	Rough Width	HEIGHT	Comments	Function
D1	3'-0"	7'-0"	POWDER ROOM	Interior New Construction
D2	3'-0"	7'-0"	LAUNDRY/MUDROOM	Interior New Construction
D3	3'-0"	7'-0"	LAUNDRY/MUDROOM	Interior New Construction
D5	16'-0"	7'-0"	GARAGE DOOR	Exterior New Construction
D6	7'-0"	7'-0"	CLOSET FOLDING DOUBLE DOOR	Interior New Construction
D7	3'-0"	7'-0"	PATIO DOOR	Exterior New Construction

WALL LEGEND

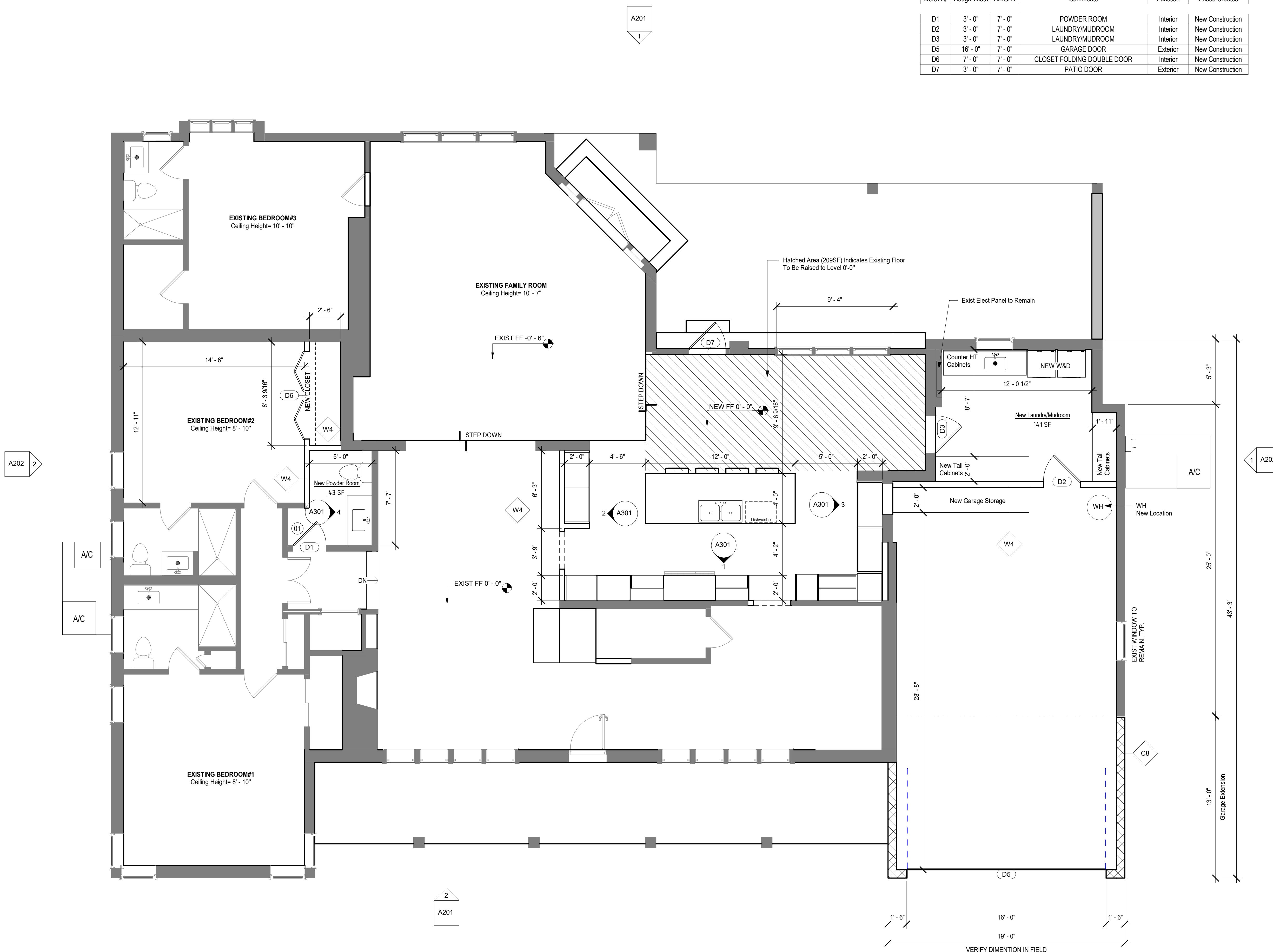
EXISTING:	CONSTRUCTION TO REMAIN
EXISTING:	CONSTRUCTION TO BE REMOVED
WALL TYPE [W4]	2X4 STUDS @ 16" OC W. 1/2" EA SIDE. (1/2" CEMENT BOARD IN WET LOCATIONS)
WALL TYPE [W6]	2X6 STUDS @ 16" OC W. 1/2" EA SIDE. (1/2" CEMENT BOARD IN WET LOCATIONS)
WALL TYPE [C8]	16X8 CMU WALL: (EXTERIOR SIDE: EXT CEMENT PLASTER, MATCH EXISTING FINISH AND WALL COLOR)

GENERAL NOTES

- A WORK AREAS TONED IN GRAY ARE NOT IN CONTRACT. PARTITIONS FACING AREA OF WORK ARE IN SCOPE.
- B DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- C DIMENSIONS AND ALIGNMENTS SHOWN ARE FROM FINISH FACE UNO.
- D PATCH AND REPAIR ALL EXISTING TO REMAIN SURFACES AFFECTED BY DEMOLITION AND NEW CONSTRUCTION (WALLS, CEILINGS, MILLWORK, TRIMWORK, METAL, AND SIMILAR). PROVIDE NEW FINISH TO MATCH EXISTING CONDITIONS.
- E PROVIDE KNOCKDOWN GYPSUM FINISH AT ALL NEW WALLS AND CEILINGS.
- F COORDINATE WITH OWNER (BASEBOARD TYPES, DOOR TRIM TYPES, DOOR HARDWARE COLOR, INTERIOR WALL PAINT COLOR).
- G NEW PLUMBING SUPPLY LINES TO RESTROOM TO BE TIED TO EXISTING WATER HEATER.
- H REFER TO OWNER PROVIDED GOTECHNICAL REPORT FOR SITE PREPARATION.
- I NEW PLUMBING LINES TO BE COPPER.

SHEET NOTES

01 PROVIDE IN WALL SOUND BATT INSULATION





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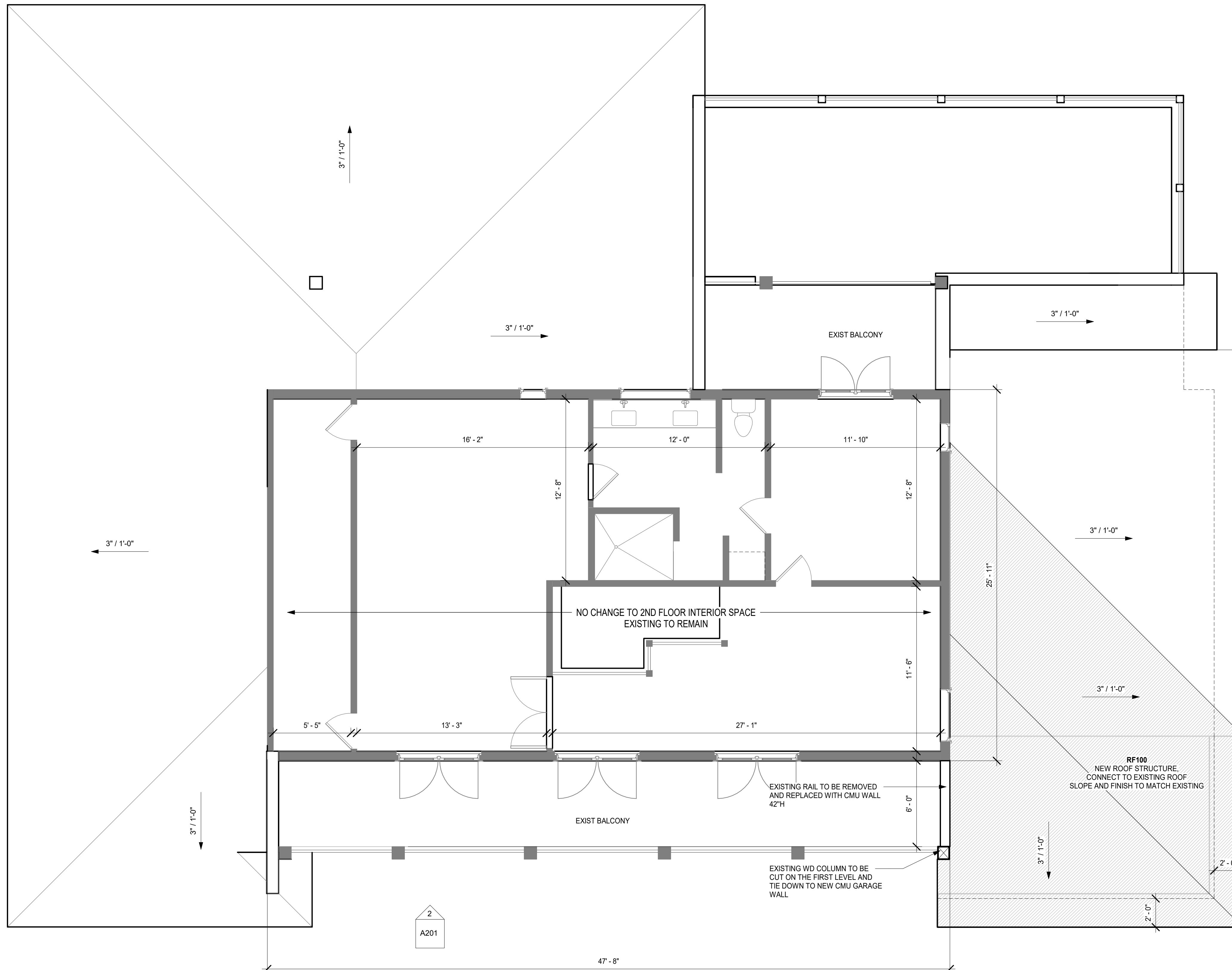
PROPOSED SECOND FLOOR PLAN

Revision	Number
Description	Date

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Date: Project Number
05/23/25

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1 2ND FLOOR PLAN PROPOSED
SCALE: 1/4" = 1'-0"

WALL LEGEND

EXISTING:	
EXISTING:	
WALL TYPE [W4]	
2X4 STUDS @ 16" OC W. 1/2" EA SIDE, (1/2" CEMENT BOARD IN WET LOCATIONS)	
WALL TYPE [W6]	
2X6 STUDS @ 16" OC W. 1/2" EA SIDE, (1/2" CEMENT BOARD IN WET LOCATIONS)	
WALL TYPE [C8]	
16X8X8 CMU WALL: (EXTERIOR SIDE: EXT CEMENT PLASTER, MATCH EXISTING FINISH AND WALL COLOR)	

GENERAL NOTES

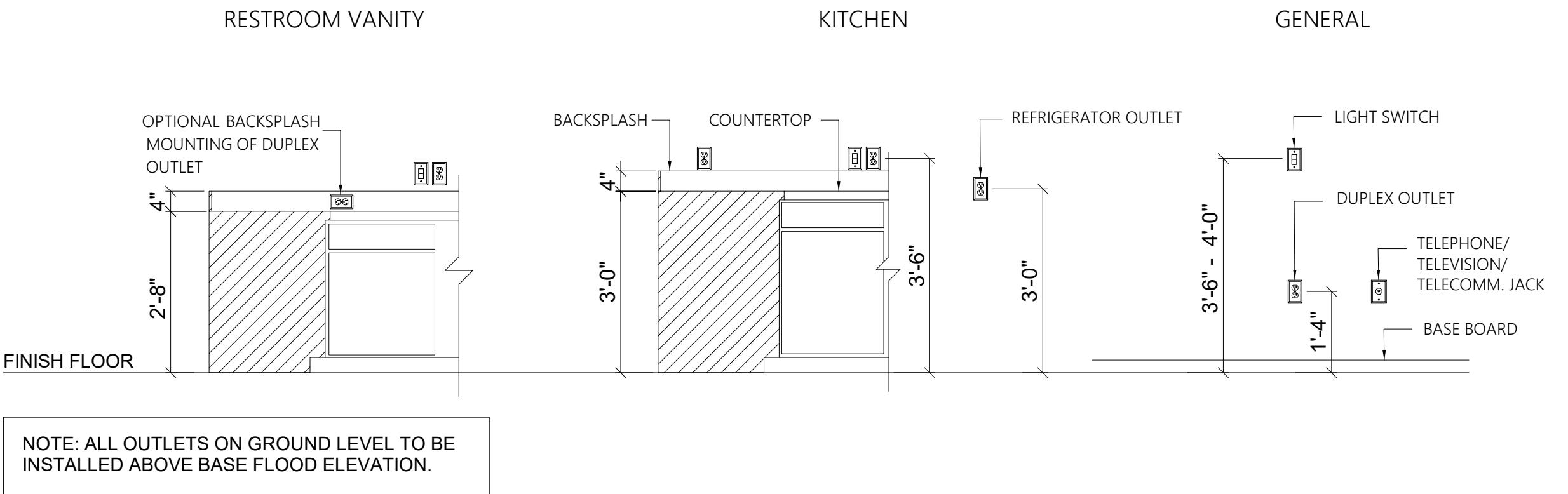
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- B DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- C DIMENSIONS AND ALIGNMENTS SHOWN ARE FROM FINISH FACE UNO.
- D PATCH AND REPAIR ALL EXISTING TO REMAIN SURFACES AFFECTED BY DEMOLITION AND NEW CONSTRUCTION (WALLS, CEILINGS, MILLWORK, TRIMWORK, METAL, AND SIMILAR). PROVIDE NEW FINISH TO MATCH EXISTING CONDITIONS.
- E PROVIDE KNOCKDOWN GYPSUM FINISH AT ALL NEW WALLS AND CEILINGS.
- F COORDINATE WITH OWNER (BASEBOARD TYPES, DOOR TRIM TYPES, DOOR HARDWARE COLOR, INTERIOR WALL PAINT COLOR).
- G NEW PLUMBING SUPPLY LINES TO RESTROOM TO BE TIED TO EXISTING WATER HEATER.
- H REFER TO OWNER PROVIDED GOTECHNICAL REPORT FOR SITE PREPARATION.
- I NEW PLUMBING LINES TO BE COPPER.

RF100

ASPHALT SHINGLES
DESCRIPTION: ASPHALT SHINGLES
MANUFACTURER: GAF
COLOR: MATCH EXISTING
FINISH: MATCH EXISTING
LOCATION: 3:12 ROOF SLOPE
CONSTRUCTION: (30 YR ASPHALT HINGE ROOF) + (PEEL AND STICK UNDERLAYMENT) + (1/2" CDX PLYWOOD SHEATHING WITH CLIPS, NAIL W 8D @ 6" OC IN FILED AND 4" OC ON EDGES)
NOTE: APPROVAL: FL 10124.1

ROOF SPECIFICATIONS

SPECIFICATIONS	
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING:	
a. LATEST ADOPTED ISSUE OF THE NATIONAL ELECTRICAL CODE	
b. NFPA 72 AND 101	
c. REGULATIONS OF LOCAL AUTHORITIES HAVING JURISDICTION	
2. FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT AND SERVICES NECESSARY FOR COMPLETE AND SAFE INSTALLATION OF THE ELECTRICAL SYSTEM INDICATED ON THE DRAWINGS AND NOTED IN THE SPECIFICATIONS HEREINAFTER. ELECTRICAL SYSTEMS AND EQUIPMENT SHALL IN GENERAL INCLUDE THE FOLLOWING:	
a. GENERAL PROVISIONS FOR ELECTRICAL WORK	
b. DRAWINGS: ELECTRICAL DRAWINGS CONSIDERED DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF WORK AND SYSTEMS. REFER TO ARCHITECTURAL DRAWINGS TO VERIFY LOCATION OF EQUIPMENT, ETC. CHECK DRAWINGS OF OTHER TRADES TO VERIFY EXACT SPACE CONDITIONS OR UNDERGROUND LINES.	
c. QUALITY OR MATERIALS: NEW, BEST OF THEIR RESPECTIVE KIND, FREE FROM DEFECTS, AND LISTED BY UNDERWRITER'S LABORATORIES, INC. OR BEARING THEIR LABEL.	
c. CURRENT CHARACTERISTICS: SERVICES 120/240 VOLT 1 PHASE, 3 WIRE, 60 HERTZ WITH GROUNDED NEUTRAL AS NOTED.	
d. SHOP DRAWINGS: SUBMIT FOUR (4) COPIES OF SHOP DRAWINGS FOR LIGHTING FIXTURES AND PANELBOARDS. OBTAIN APPROVAL BEFORE EQUIPMENT IS ORDERED, BUILT OR INSTALLED.	
e. FOUNDATIONS: CONCRETE, 1 PART PORTLAND CEMENT, 2 PARTS FINE AGGREGATE AND 4 PARTS COARSE AGGREGATE, PUDDLED, SMOOTH FINISH, PROVIDE FOR OUTDOOR LIGHTING FIXTURES.	
f. EXCAVATION AND BACKFILLING: EXCAVATE, BACKFILL AND RESTORE SURFACES FOR ALL ELECTRICAL WORK.	
g. TESTS: PERFORM AS NOTED AND IN PRESENCE OF ARCHITECT OWNER REP PROVIDE ALL REQUIRED LABOR AND MATERIAL, REPAIR OR REPLACE DEFECTIVE WORK AS DIRECTED.	
h. ALL NEW WORK TO BE INSTALLED WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES.	
4. ELECTRICAL SERVICE	
a. PROVIDE COMPLETE UNDERGROUND ELECTRICAL SERVICE AND EQUIPMENT AS INDICATED. ALL WORK REQUIRED SHALL BE IN ACCORDANCE WITH UTILITY COMPANY'S REQUIREMENTS AND SHALL INCLUDE PAYMENT FOR SERVICE CONNECTION, ETC.	
5. WIRING, DISTRIBUTION AND DEVICES	
a. CONDUCTORS: COPPER, IN ACCORDANCE WITH ASTM STANDARDS, SIZE REFERENCES AWG CONDUCTORS NO. 10 AND SMALLER SIZE SOLID, NO. 8 AND LARGER STRANDED. INSULATION OF CONDUCTOR RUBBER OR THERMOPLASTIC, TYPES NM AND NMX.	
b. DISCONNECT SWITCHES: GENERAL DUTY, HORSEPOWER RATED FOR MOTOR LOADS 250 VOLT RATING, FUSED OR NON-FUSED AS NOTED. NUMBER OF POLES AS INDICATED, COVER INTERLOCKED WITH SWITCH. ENCLOSURE NEMA 1 FOR INDOOR USE AND NEMA 3R FOR WEATHERPROOF APPLICATIONS. SWITCH SIMILAR TO SQUARE "D" OR APPROVED EQUAL.	
c. SERVICE DISCONNECT SWITCHES: GENERAL DUTY, 250 VOLT RATING, FUSED AS NOTED, 3 POLE, COVER INTERLOCKED WITH SWITCH, QUICK-MAKE, QUICK-BREAK SWITCH MECHANISM, SUITABLE FOR USE AS SERVICE EQUIPMENT INCLUDING GROUNDING PROVISIONS. DISCONNECT PROVISIONS FOR ALL UNGROUNDED AND GROUNDED CONDUCTORS AND FUSEHOLDERS FOR HIGH INTERRUPTING CAPACITY FUSES. COMPLETE WITH NEMA 1 ENCLOSURE. SWITCH SIMILAR TO SQUARE "D" OR APPROVED EQUAL.	
d. CIRCUIT BREAKERS: MOLDED CASE, THERMAL-MAGNETIC QUICK-MAKE, QUICK-BREAK, PLUG-IN TYPE WITH MANUALLY OPERATED INSULATED TRIP-FREE HANDLE. MULTI-POLE TYPES WITH INTERNAL COMMON TRIP BAR. TERMINALS SUITABLE FOR COPPER OR ALUMINUM CONDUCTORS. INTERRUPTING CAPACITY MINIMUM 10,000 RMS SYMMETRICAL AMPERE AT 120 VOLT AC. CIRCUIT BREAKERS SIMILAR TO SQUARE "D" TYPE QO, OR APPROVED EQUAL.	
e. PANELBOARDS: VOLTAGE, PHASING AND AMPERE RATINGS AS INDICATED. CIRCUIT BREAKER TYPE AS INDICATED, BUS BARS, HARD DRAWN COPPER, MINIMUM 98% CONDUCTIVITY, GALVANIZED STEEL BACK BOX, DOOR AND TRIM. ALL CORNERS LAPPED AND WELDED, HARDWARE CHROME PLATED WITH FLUSH LOCK AND CATCH. HINGES SEMI-CONCEALED, 5 KNUCKLE STEEL WITH NON-FERROUS PINS, 180 TO OPENINGS. MINIMUM GUTTER SPACE 5-3/4 INCH SIDES, TOP AND BOTTOM. INCREASE SIZE WHERE REQUIRED BY CODE. DIRECTORY HOLDER COMPLETE WITH CLEAR PLASTIC TRANSPARENT COVER INDICATING TYPEWRITTEN LIST OF FEEDER CABLES, CONDUIT SIZES CIRCUIT NUMBERS, OUTLETS OF EQUIPMENT SUPPLIED, AND THEIR LOCATION. CIRCUIT BREAKER TYPE PANELBOARDS SIMILAR TO SQUARE "D" TYPE QOQ OR APPROVED EQUAL.	
f. WIRING DEVICES: ALL DEVICES THE PRODUCT OF THE SAME MANUFACTURER. WALL SWITCHES SINGLE POLE, 20 AMPERE, 120 VOLT, SIMILAR TO P&S CATALOG NUMBER 20ACI-WHITE. WALL SWITCHES THREE-WAY, 20 AMPERE, 120 VOLT, SIMILAR TO P&S CATALOG NUMBER 6300 -WHITE.	
g. DEVICE PLATES: PROVIDE FOR ALL OUTLETS WHERE DEVICES ARE INSTALLED. METAL PLATES SIMILAR TO P&S CATALOG NUMBER 9300. PROVIDE ENGRAVED MARKING FOR SPECIAL OUTLETS.	
h. DIMMERS: 120 VOLT, FLUSH MOUNTED, CAPACITY AS NOTED. SOLID-STATE TYPE WITH CALIBRATED LINEAR SLIDE CONTROL. SIMILAR TO LUTRON N-600 TO N-2000 SERIES OR APPROVED EQUAL. (MINIMUM 600 WATT)	
6. LIGHTING FIXTURES AND LAMPS: FURNISH AND INSTALL COMPLETE SYSTEM OF LIGHTING FIXTURES, LAMPS, ACCESSORIES AND SUPPORTS AS SPECIFIED AND INDICATED. FOR TYPES REFER TO SCHEDULE.	
7. GROUNDING SYSTEM	
a. GENERAL: FURNISH AND INSTALL COMPLETE SYSTEM OF GROUND CONDUCTORS, ELECTRODES AND ACCESSORIES TO EFFECTIVELY AND PERMANENTLY GROUND ELECTRIC SERVICE. RACEWAYS AND DISTRIBUTION EQUIPMENT AND LIGHTING FIXTURES OF THE ELECTRICAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE.	
b. SERVICE: GROUND NEUTRAL CONDUCTOR THROUGH DISCONNECTING LINK AND GROUND TERMINAL TO WATER PIPE AND GROUND ROD AS PER CODE. RUN INSULATED GROUND CONDUCTOR IN PVC CONDUIT (WITH CONDUCTOR CONNECTED TO CONDUIT) THROUGH GROUND FITTING AT EACH END FROM SERVICE TO GROUND ELECTRODES (UNDERGROUND WATER PIPE AND GROUND ROD). BARE COPPER ALLOWED IN ACCESSIBLE SPACES ONLY.	
c. EQUIPMENT: GROUND NON-CURRENT CARRYING METAL PARTS OF SERVICE SWITCH, PANELBOARD, METER FRAME, RACEWAYS AND LIGHTING FIXTURES. TEST FOR CONTINUITY. PROVIDE WRITTEN CERTIFICATION OF COMPLIANCE.	
8. FIRE ALARM SYSTEM:	
INDIVIDUAL UNITS - PROVIDE STAND ALONE SMOKE DETECTORS. EACH DEVICES SHALL BE 120 VOLT, CONNECTED (WITH BATTERY BACK UP) TO AREA ELECTRICAL, AND WIRED TO SOUND TOGETHER.	
9. INSTALLATION:	
a. SECURE ALL SUPPORTS TO BUILDING STRUCTURE AS SPECIFIED UNDER RACEWAYS. SUPPORT HORIZONTAL RUNS OF METALLIC CONDUIT NOT MORE THAN 10 FEET APART. SUPPORT RACEWAY RISERS AT EACH FLOOR LEVEL. RUN EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO WALLS.	
b. LOCATIONS INDICATED FOR LOCAL WALL SWITCHES ARE SUBJECT TO MODIFICATIONS. AT OR NEAR DOORS, INSTALL SWITCH ON SIDE OPPOSITE HINGE. VERIFY FINAL DOOR HINGE LOCATION IN FIELD PRIOR TO SWITCH OUTLET INSTALLATION.	
c. VERIFY LOCATIONS OF OUTLETS AND SWITCHES IN FINISHED ROOMS WITH ARCHITECTURAL DRAWINGS OF INTERIOR DETAILS AND FINISH. IN CENTERING OUTLETS AND LOCATING BOXES AND OUTLETS, ALLOW FOR OVERHEAD PIPES, DUCTS AND MECHANICAL EQUIPMENT, VARIATIONS IN FIREPROOFING AND PLASTERING, WINDOW AND DOOR TRIM, PANELING, HUNG CEILINGS AND THE LIKE, AND CORRECT ANY INACCURACY RESULTING FROM FAILURE TO DO SO WITHOUT EXPENSE TO OWNER.	
d. JUNCTION AND PULL BOXES: LOCATE GENERALLY NOT EXPOSED IN FINISHED SPACES. WHERE NECESSARY, REROUTE OR MAKE OTHER ARRANGEMENTS FOR CONCEALMENT. PROVIDE PULL BOXES AS INDICATED AND WHEREVER NECESSARY TO FACILITATE PULLING OF WIRE AND COORDINATE LOCATIONS WITH OTHER TRADES. COVERS OF JUNCTION AND PULL BOXES SHALL BE ACCESSIBLE.	
e. SUPPORT PANEL, JUNCTION AND PULL BOXES INDEPENDENTLY TO BUILDING STRUCTURE WITH NO WEIGHT BEARING ON CONDUITS.	



ELECTRICAL LEGEND AND NOTES	
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTER (GFI) AS INDICATED ON PLANS.	DUPLEX CONVENIENCE OUTLET
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR:	GROUND FAULT INTERRUPTER DUPLEX OUTLET
SWITCHES.....42" OUTLETS.....14" TELEPHONE.....14" TELEVISION.....14"	DUPLEX OUTLET IN FLOOR
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. SMOKE DETECTORS SHALL BE CONNECTED TO OPERATE ALL ALARMS WHEN ANY UNIT IS INITIATED. PROVIDE INSIDE EACH SLEEPING ROOM AND IN THE IMMEDIATE OUTSIDE AREA OF EACH SLEEPING ROOM PER NFPA 72 CHAPTER 2.2.1.1 AND SBCC 905.2.	RECEPTACLE GROUND FAULT CIRCUIT INTERRUPTER
4. ALL RECEPTACLES SHALL BE ON A F.C.I. PROTECTED CIRCUIT PER NEC IN SLEEPING ROOMS, FAMILY ROOMS, LIVING ROOMS AND DINING ROOMS.	CEILING OUTLET
5. CONTRACTOR SHALL COORDINATE WITH OWNER, TELEPHONE AND CABLE COMPANIES FOR QUANTITY AND FINAL LOCATION OF TV JACKS AND PHONE JACKS. TYPE TO BE SELECTED IN FIELD.	220V RECEPTACLE
6. ALL FINAL ELECTRICAL FIXTURE TO BE SELECTED BY OWNER. INTERIOR DESIGNER PRIOR TO PURCHASE.	HALF SWITCH DUPLEX OUTLET
7. ALL OUTLETS TO USE GROUNDED EARTH PLESSES.	DUPLEX RECEPTACLE, UNDER COUNTER
8. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH N.E.C., FLORIDA BUILDING CODE 7th EDITION (2020) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.	DUPLEX RECEPTACLE, HEIGHT
9. RECEPTACLES MOUNTED AT 4' A.F.F. TYP. U.N.O.	RECEPTACLE MOUNTED AT 14' A.F.F. TYP. U.N.O.
10. WALL SWITCH	WALL SWITCH
11. THREE-WAY SWITCH	THREE-WAY SWITCH
12. FOUR-WAY SWITCH	FOUR-WAY SWITCH
13. DIMMER SWITCH	DIMMER SWITCH
14. SWITCHES MOUNTED AT 4' A.F.F. TYP. U.N.O.	SWITCHES MOUNTED AT 4' A.F.F. TYP. U.N.O.

ELECTRICAL LEGEND	
WS1	EXTERIOR WALL SCONCE
WS2	INTERIOR WALL SCONCE
CL	CHANDELIER LIGHT FIXTURE
RL	RECESSED INCANDESCENT LIGHT FIXTURE
EF	EXHAUST FAN
SP	SPECIAL PURPOSE RECEPTACLE
SD	SMOKE/ CARBON MONOXIDE DETECTOR
PB	PUSHBUTTON SWITCH

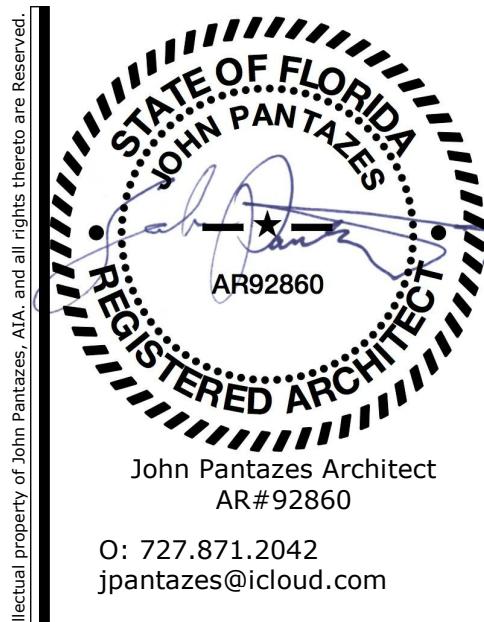
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Revision:

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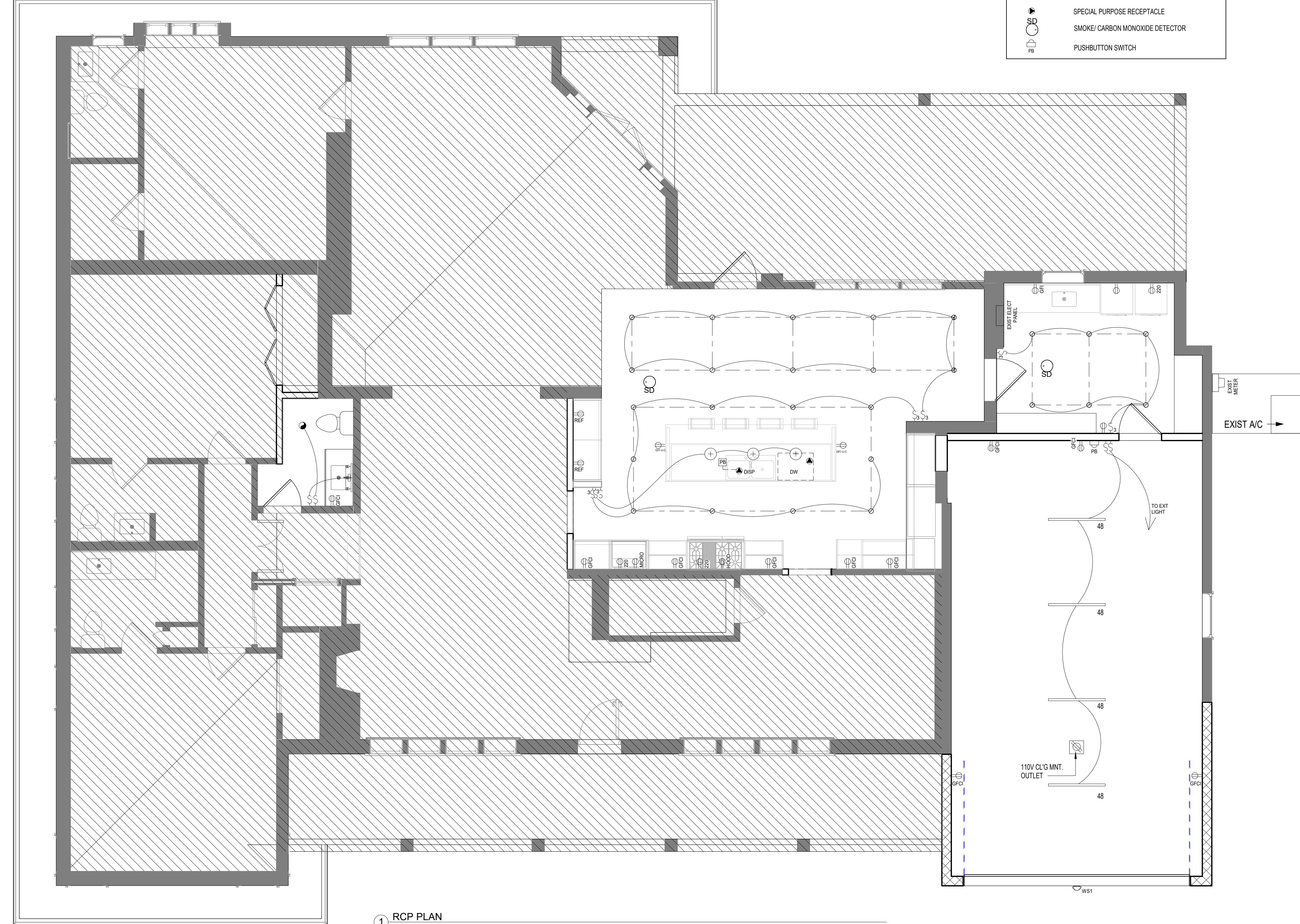
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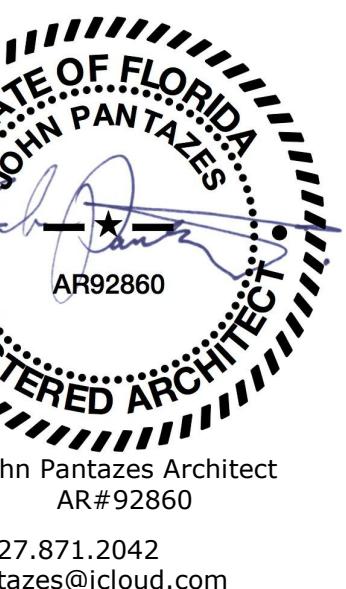
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ELECTRIC HEIGHTS - ELEVATIONS
1/2" = 1'-0"





GENERAL NOTES:

APPLICATION OF STUCCO (EXTERIOR PLASTER) MUST BE INSTALLED IN ACCORDANCE WITH FBC R703.7, ASTM C526 AND C1063.

FLASHING NOTES:

DOE TO CLARITY NOT ALL REQUIRED FLASHING ARE INDICATED ON DRAWINGS. REFER TO FBC RES 2023 (8TH EDITION), SECTION R703.4, AND R903.2 APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED AT ALL ROOFING SYSTEM INTERRUPTIONS, TERMINATIONS, INTERSECTIONS, AND PENETRATIONS AND IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL SYSTEM OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPOUNTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS UP TURN AT THE JAMB COPIES (28 MM) OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING. JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.
8. WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION.
9. AT ROOF CRICKET OR SADDLE.
10. AROUND ROOF OPENINGS.



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PROPOSED ELEVATIONS

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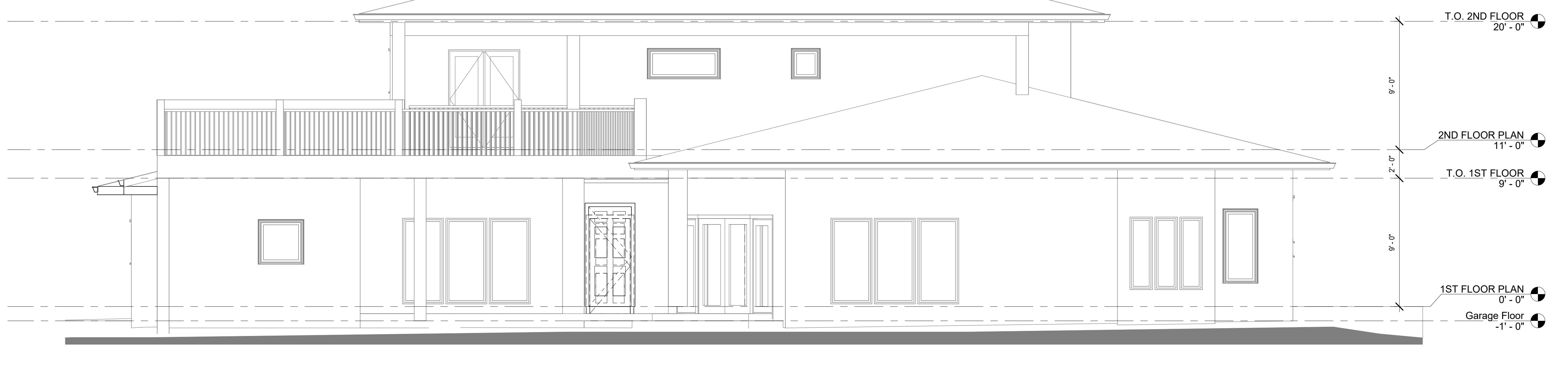
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1 REAR ELEVATION

SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION

SCALE: 1/4" = 1'-0"





GENERAL NOTES:

APPLICATION OF STUCCO (EXTERIOR PLASTER) MUST BE INSTALLED IN ACCORDANCE WITH FBC R703.7, ASTM C926 AND C1063.

FLASHING NOTES:

DUE TO CLARITY NOT ALL REQUIRED FLASHING ARE INDICATED ON DRAWINGS. REFER TO FBC RES 2023 (8th EDITION, SECTION R704.4, AND R703.2 APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED AT ALL ROOFING SYSTEM INTERRUPTIONS, TERMINATIONS, INTERSECTIONS, AND PENETRATIONS AND IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1-1/8 INCHES (28 MM) OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD WALLS.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.
8. WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION.
9. AT ROOF CRICKET OR SADDLE.
10. AROUND ROOF OPENINGS.

WINDOW NOTE:

ALL NEW WINDOWS MUST MEET A MINIMUM 'U-VALUE' OF 0.4 OR LESS AND A 'SHGC' OF 0.25 OR LESS. (UTILIZING THE PRESCRIPTIVE METHOD FOR EXISTING STRUCTURES)

'EGRESS NOTE:
EACH BEDROOM MUST HAVE ONE WINDOW THAT COMPLIES WITH EGRESS CODES. IF THERE IS NO ACCESS TO EXTERIOR THROUGH A DOOR, THE WINDOW MUST HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR LINE OF THAT PARTICULAR ROOM.



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Project Status:
PERMIT SET

Project:

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Anzalone Residence

103 Manatee Rd, Belleair, FL 33756

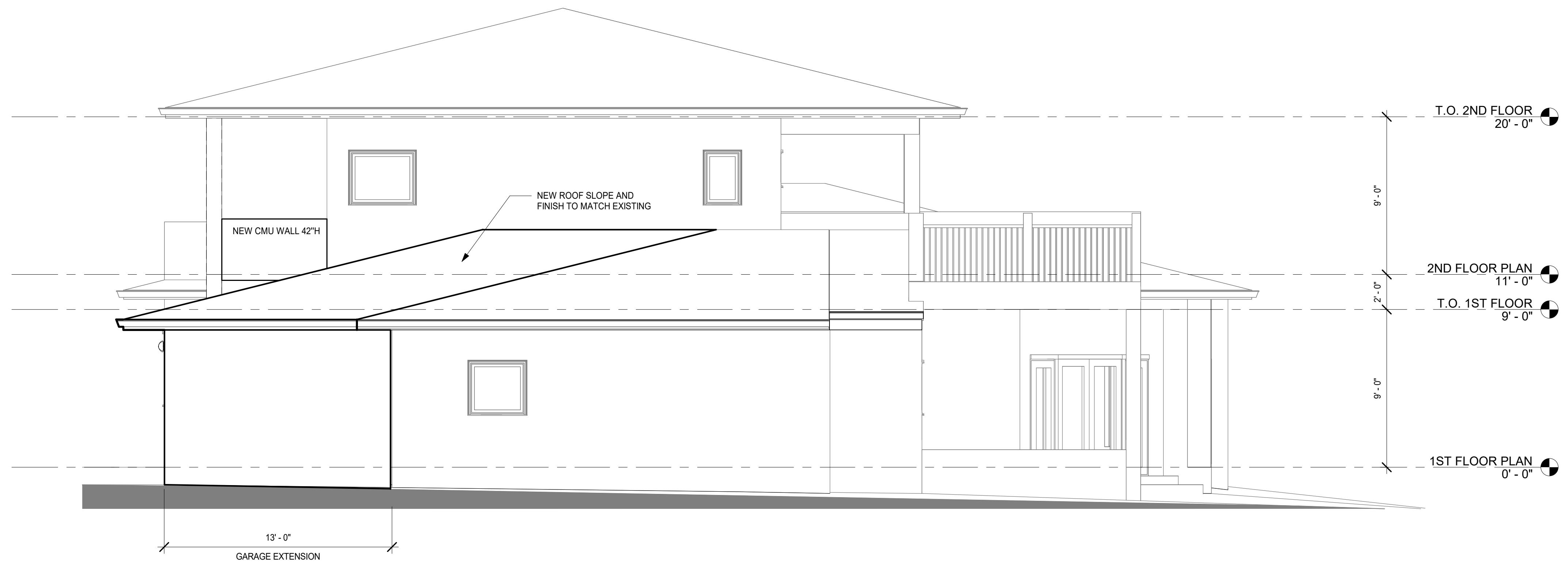
Drawing Title:
PROPOSED ELEVATIONS

Number	Revision
	Description Date

Drawn By: Mila Ivanenko
Date: Project Number
05/23/25

Sheet:

A202

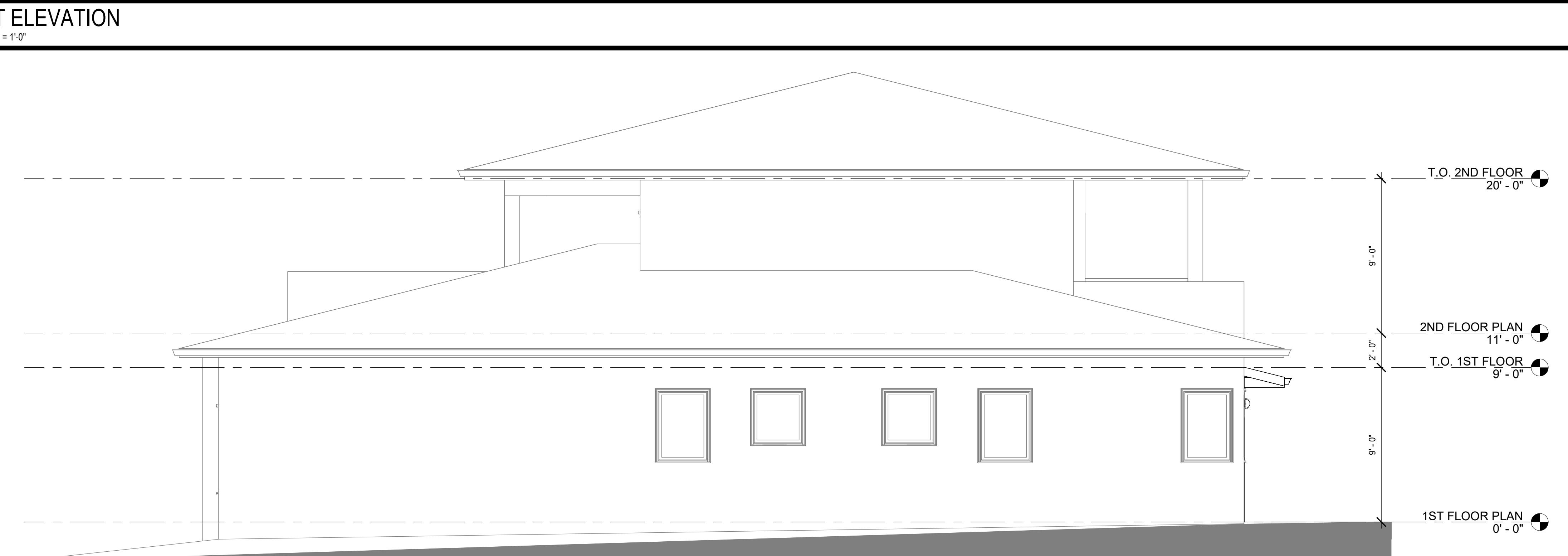


GENERAL NOTES: APPLICATION OF STUCCO (EXTERIOR PLASTER) MUST BE INSTALLED IN ACCORDANCE WITH FBC R703.7, ASTM C926 AND C1063.
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JOHN PANTAZES
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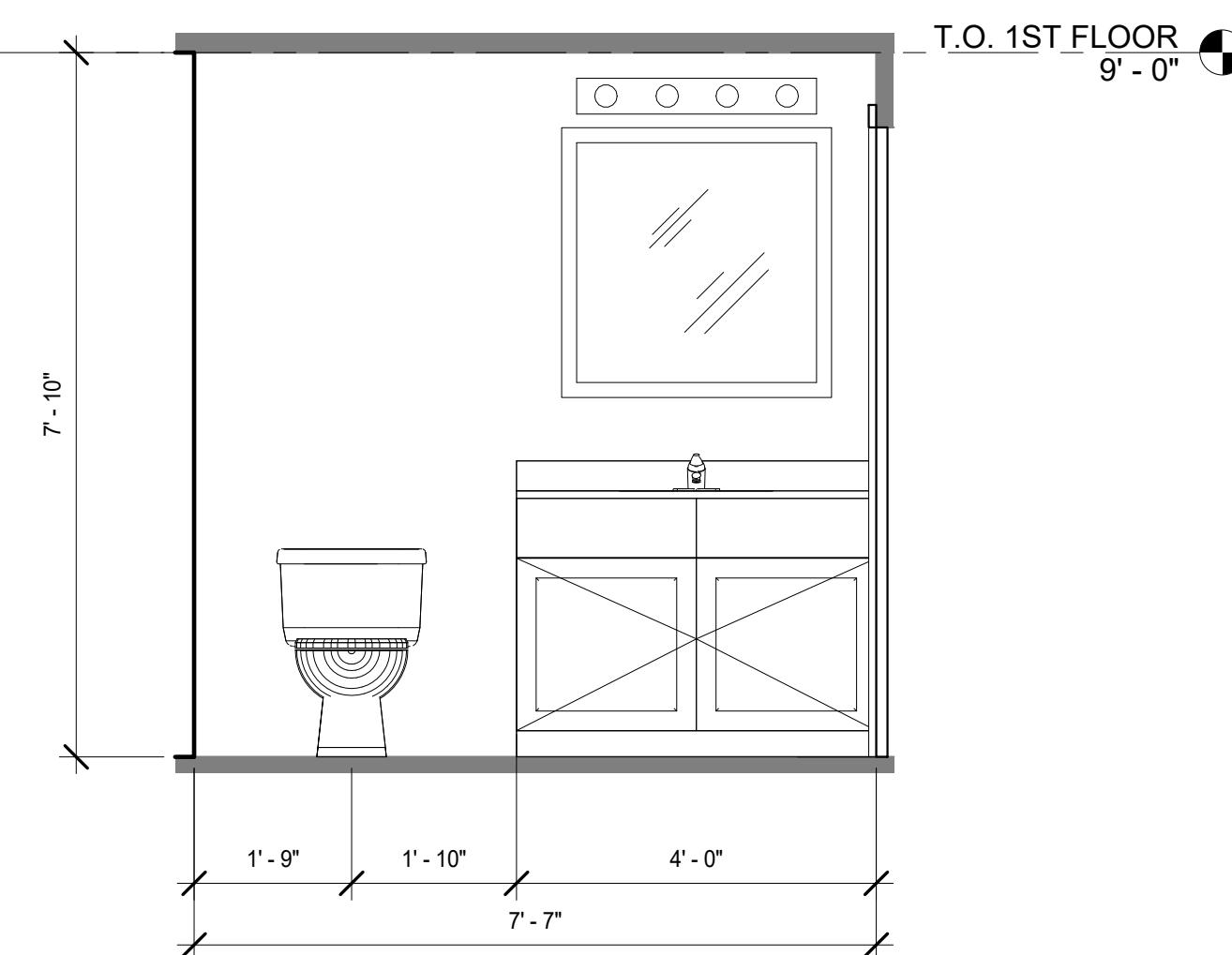
Project:

Anzalone Residence
103 Manatee Rd, Belleair, FL 33756
Drawing Title:
INTERIOR ELEVATIONS

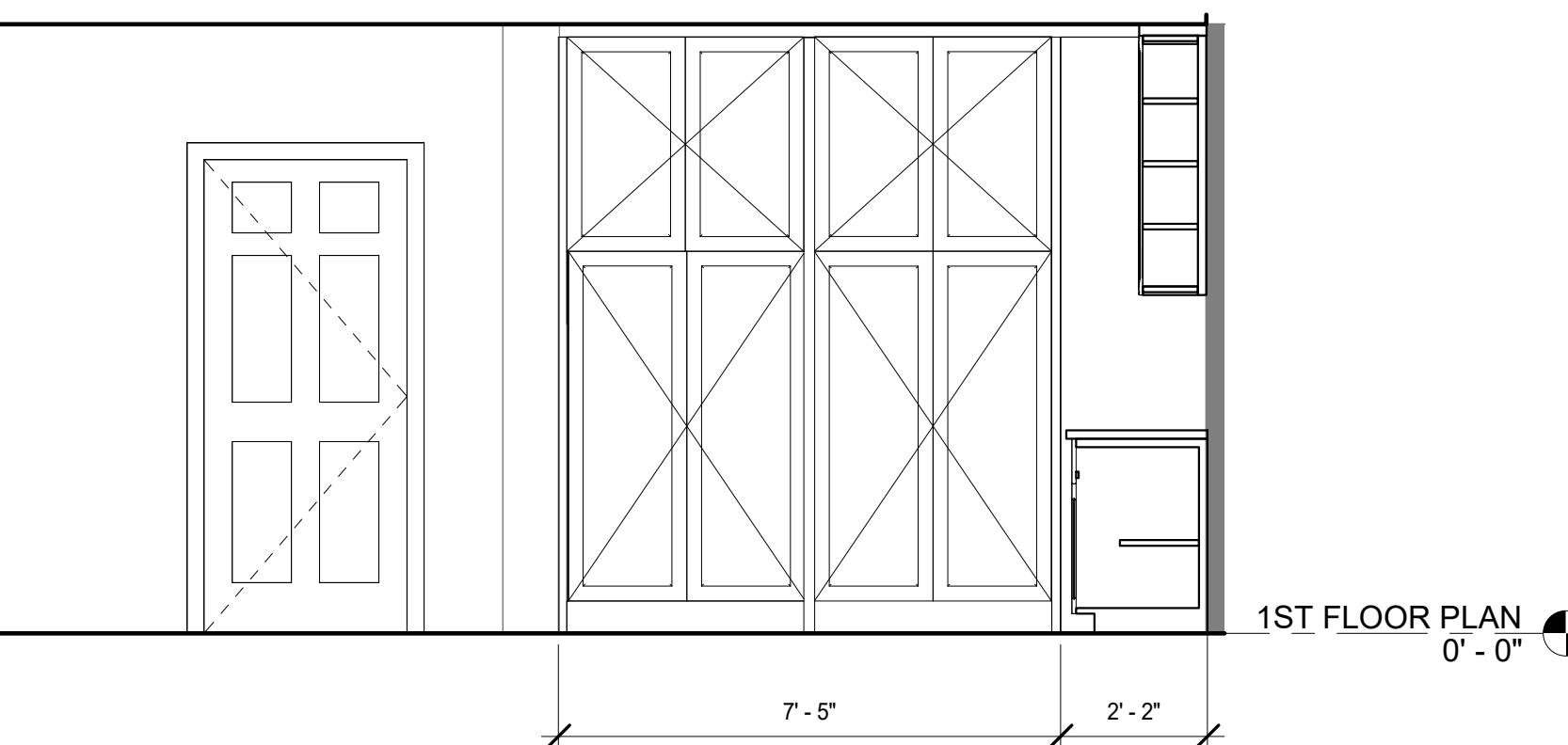
Revision
Number
Description Date

Drawn By: Mila Ivanenko
Date: Project Number
05/23/25
Sheet:

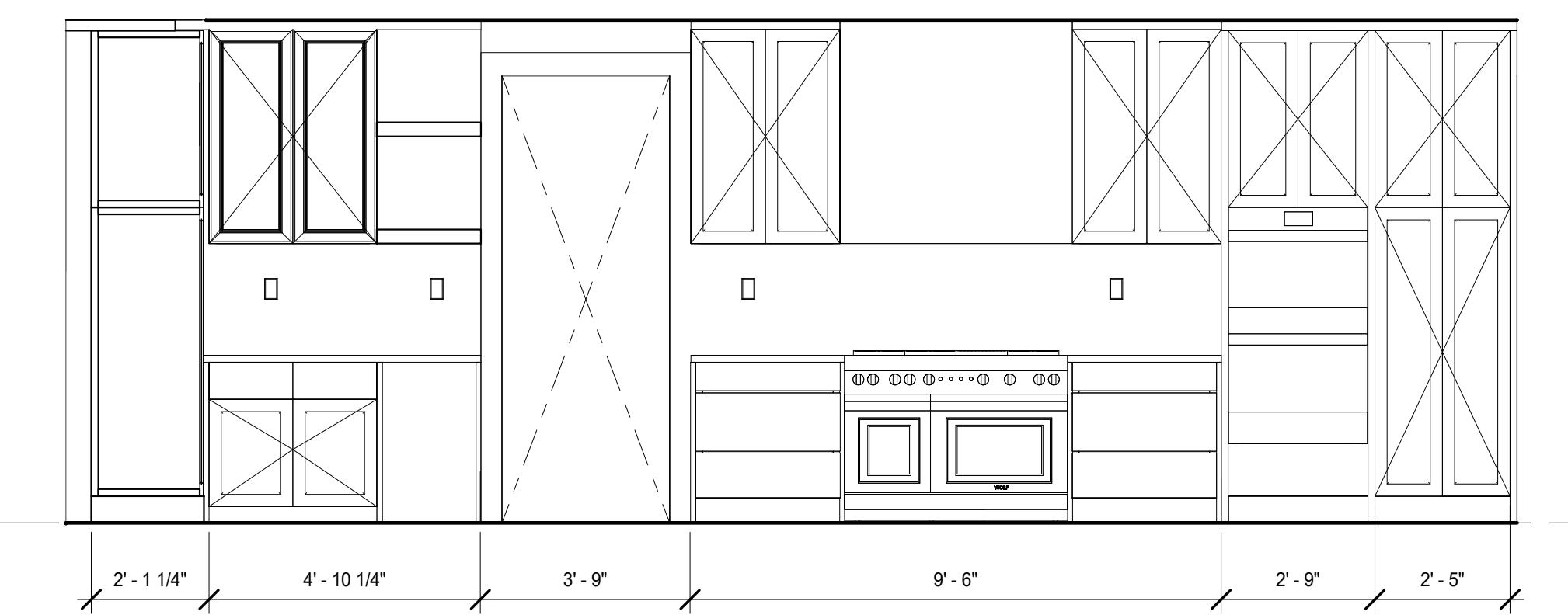
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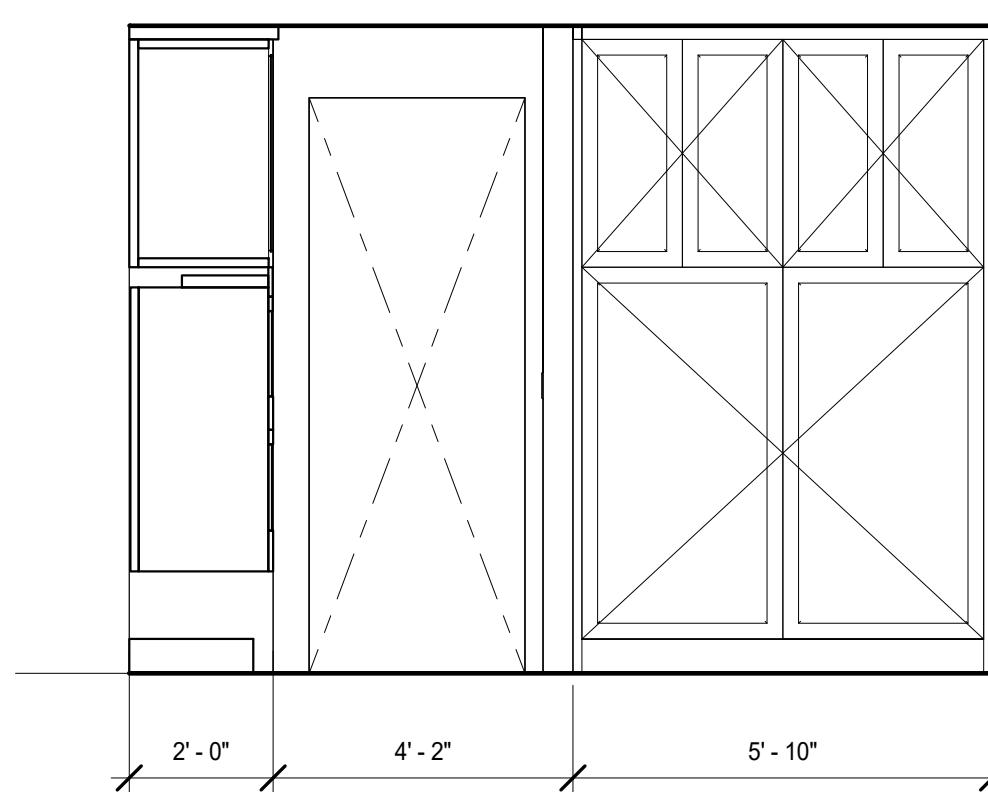
4 Bathroom Elevation



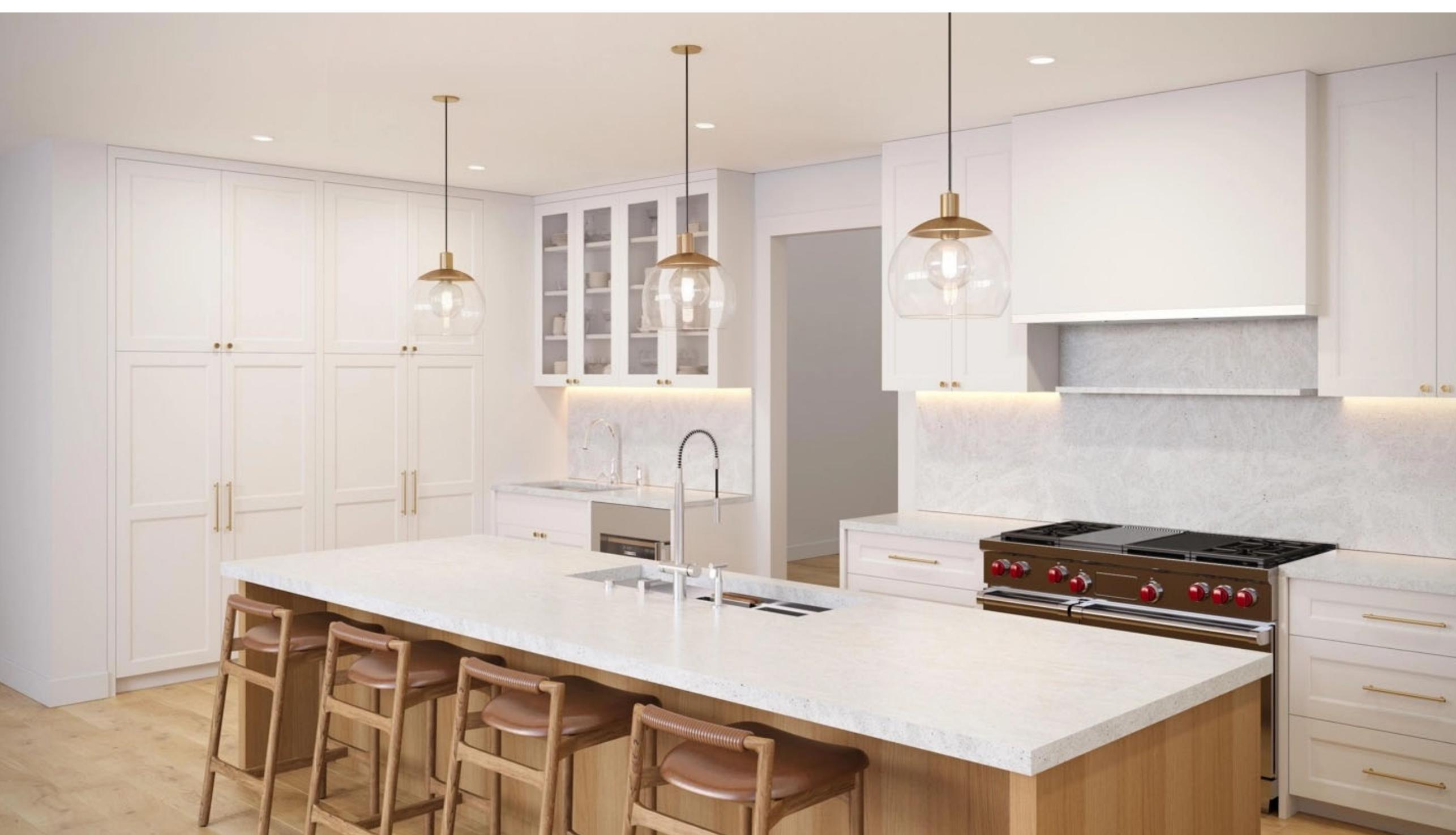
3 Kitchen Elevation 1



1 Kitchen Elevation 2



2 Kitchen Elevation 3





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103 Manatee Rd, Belleair, FL 33756

Drawing Title:
EXISTING
DEMO FLOOR
PLAN

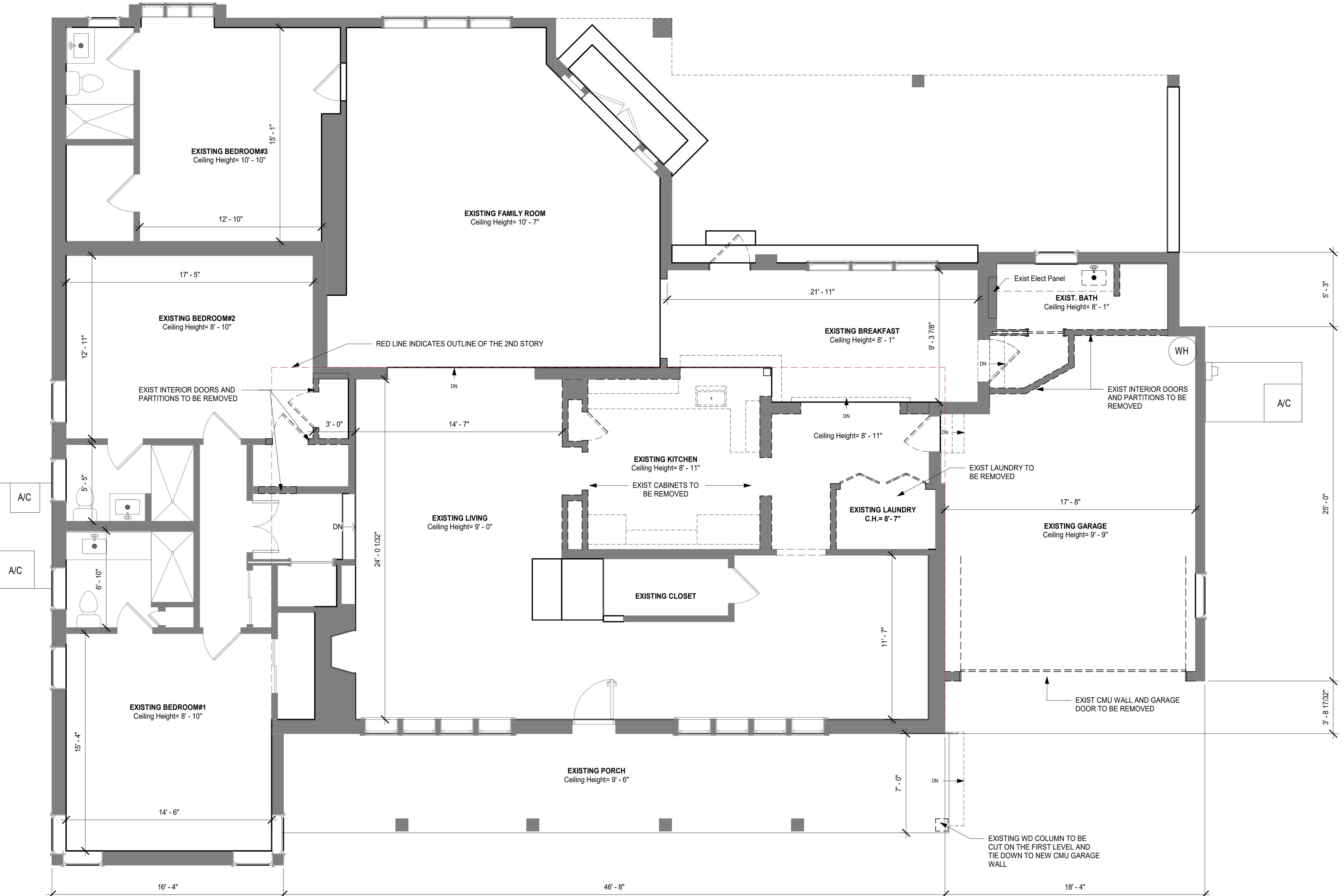
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	Description Date

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Date: Project Number
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EX101

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1 1ST FLOOR PLAN EXISTING

SCALE: 1/4" = 1'-0"



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Project:

Anzalone Residence

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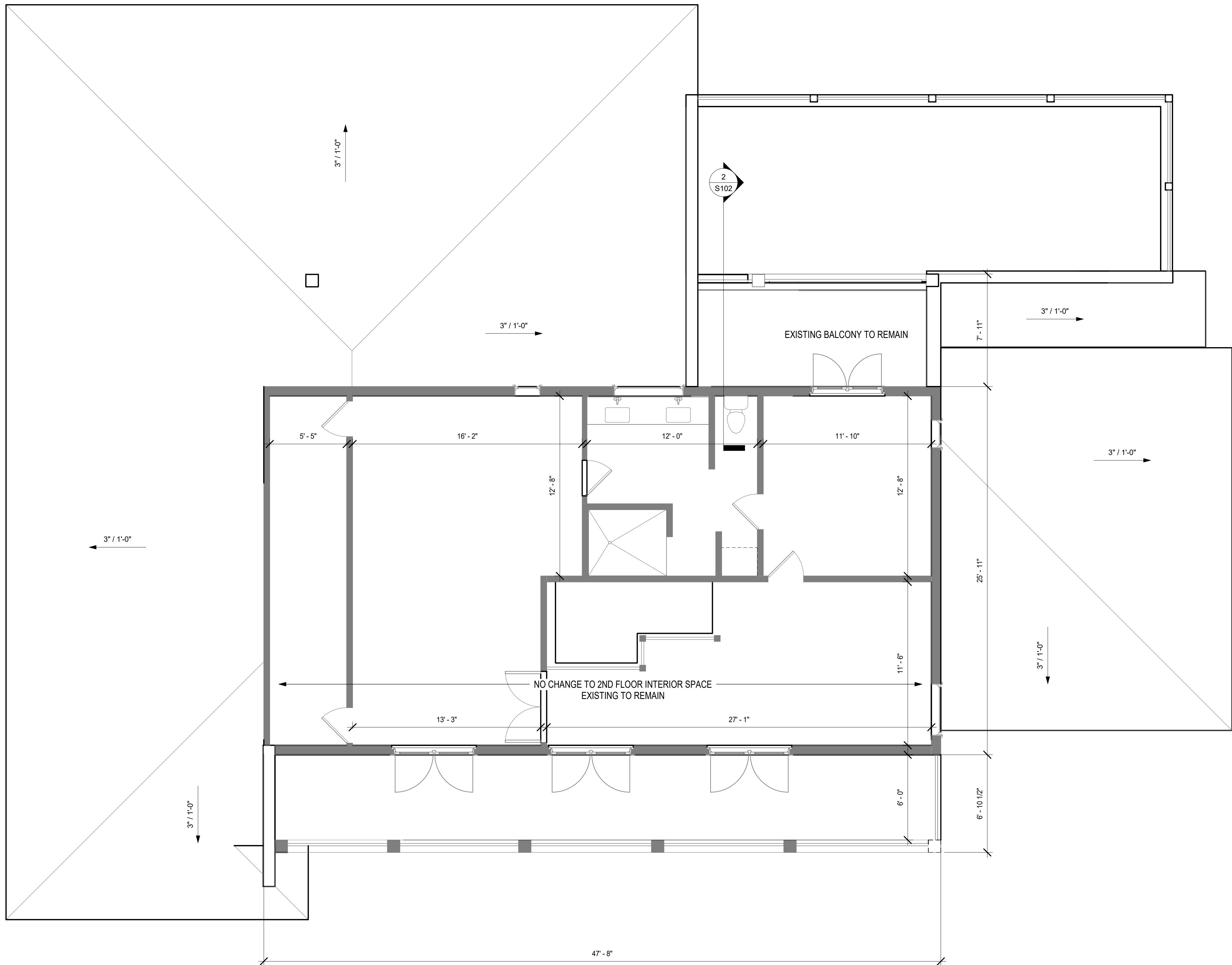
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EXISTING 2ND FLOOR PLAN

Number	Revision
	Description Date

Drawn By: Mila Ivanenko
Date: Project Number
05/23/25

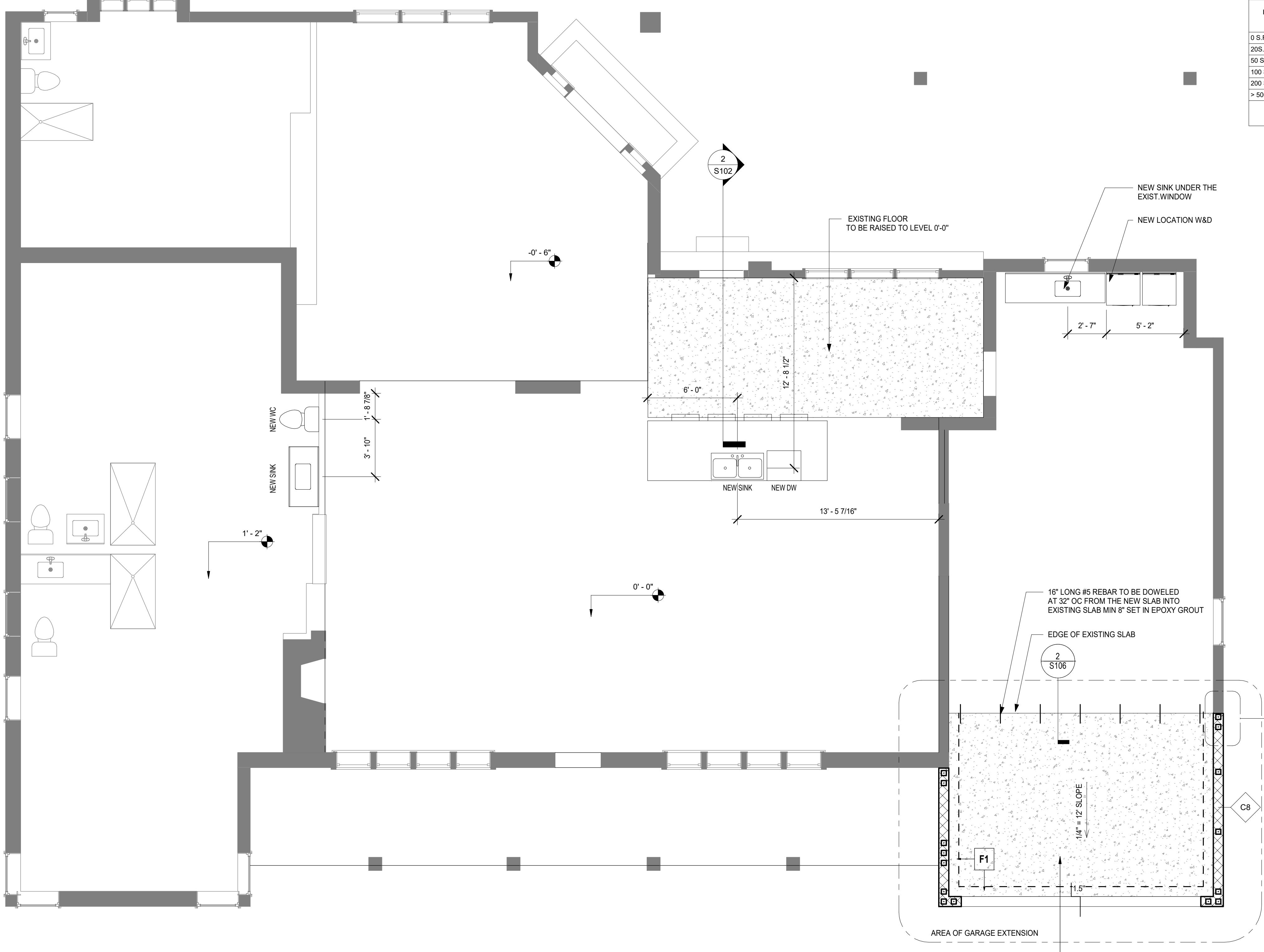
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EX102



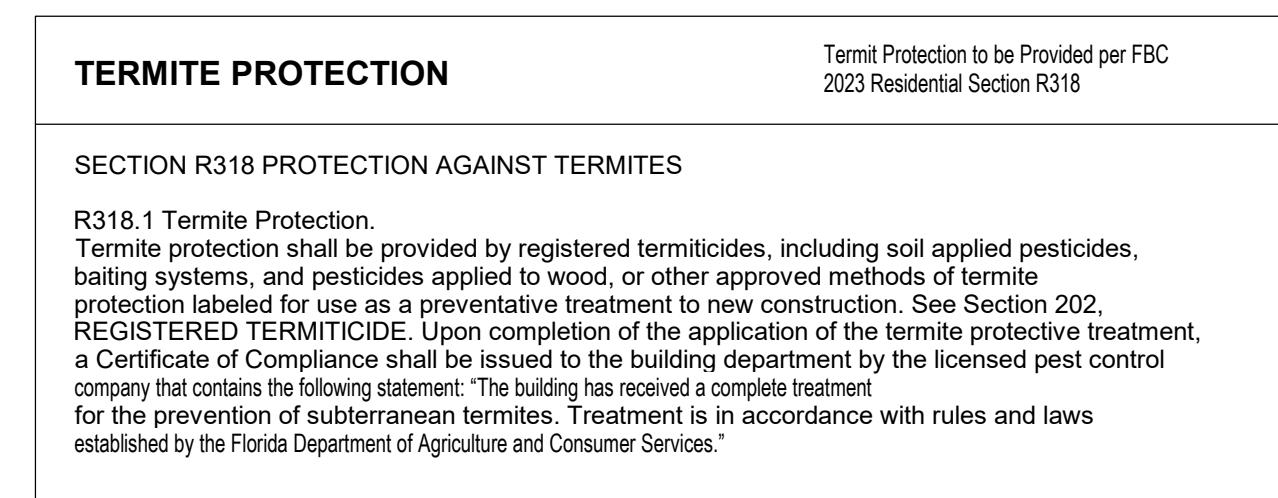
1 2ND FLOOR PLAN (EXISTING)

SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

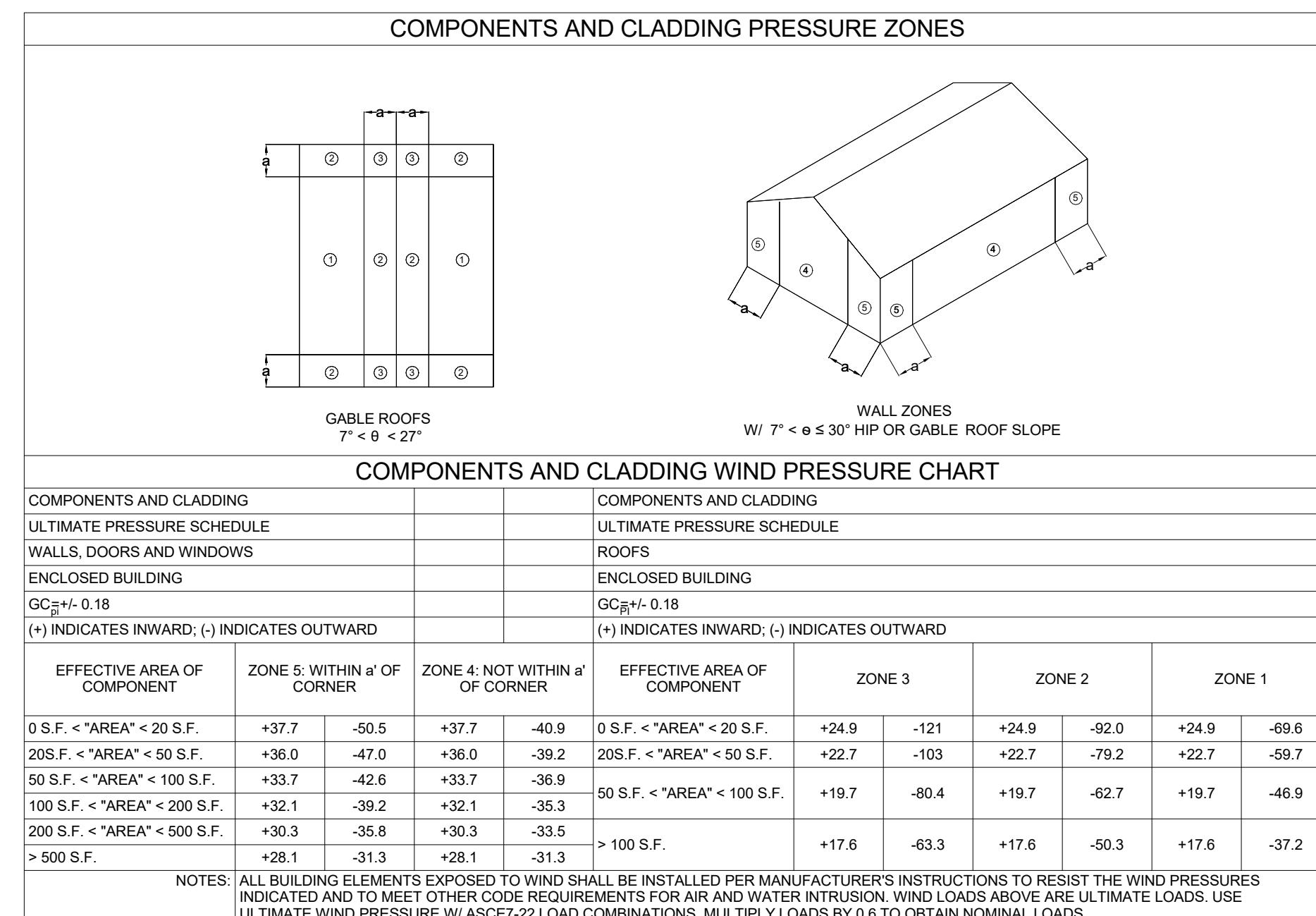


LEGEND

WALL TYPE [C8] (1) #5 VERTICAL RODS, GROUT CELL SOLID @ 48" O.C. MAX.
FOOTING TYPE [F1] 16" WIDE X 16" DEEP CONCRETE FOOTING W/ (3) #5 CONTINUOUS AND #3 BARS @ 24" O.C. TRANSVERSE

GENERAL NOTES

- A WORK AREAS TONED IN GRAY ARE NOT IN CONTRACT. PARTITIONS FACING AREA OF WORK ARE IN SCOPE.
- B GC TO FIELD VERIFY EXISTING T.O. CMU WALL HEIGHT AND BEARING CONDITION. MATCH EXISTING.
- C GC TO FIELD VERIFY EXISTING CONCRETE SLAB HEIGHT AND MATCH EXISTING HEIGHT
- D REBAR LAP 48 BAR DIAMETERS
- E MIN. LINTEL BEARING 4"



STRUCTURAL SPECIFICATIONS

STRUCTURAL SPECIFICATIONS

DESIGN CRITERIA

BASIS OF DESIGN:

ALL CONSTRUCTION IS DESIGNED AS FOLLOWS:
FLORIDA BUILDING CODE 8TH EDITION 2023 AS FOLLOWED BELOW:
FBC, EXISTING BUILDING-2023
FBC, RESIDENTIAL-2023

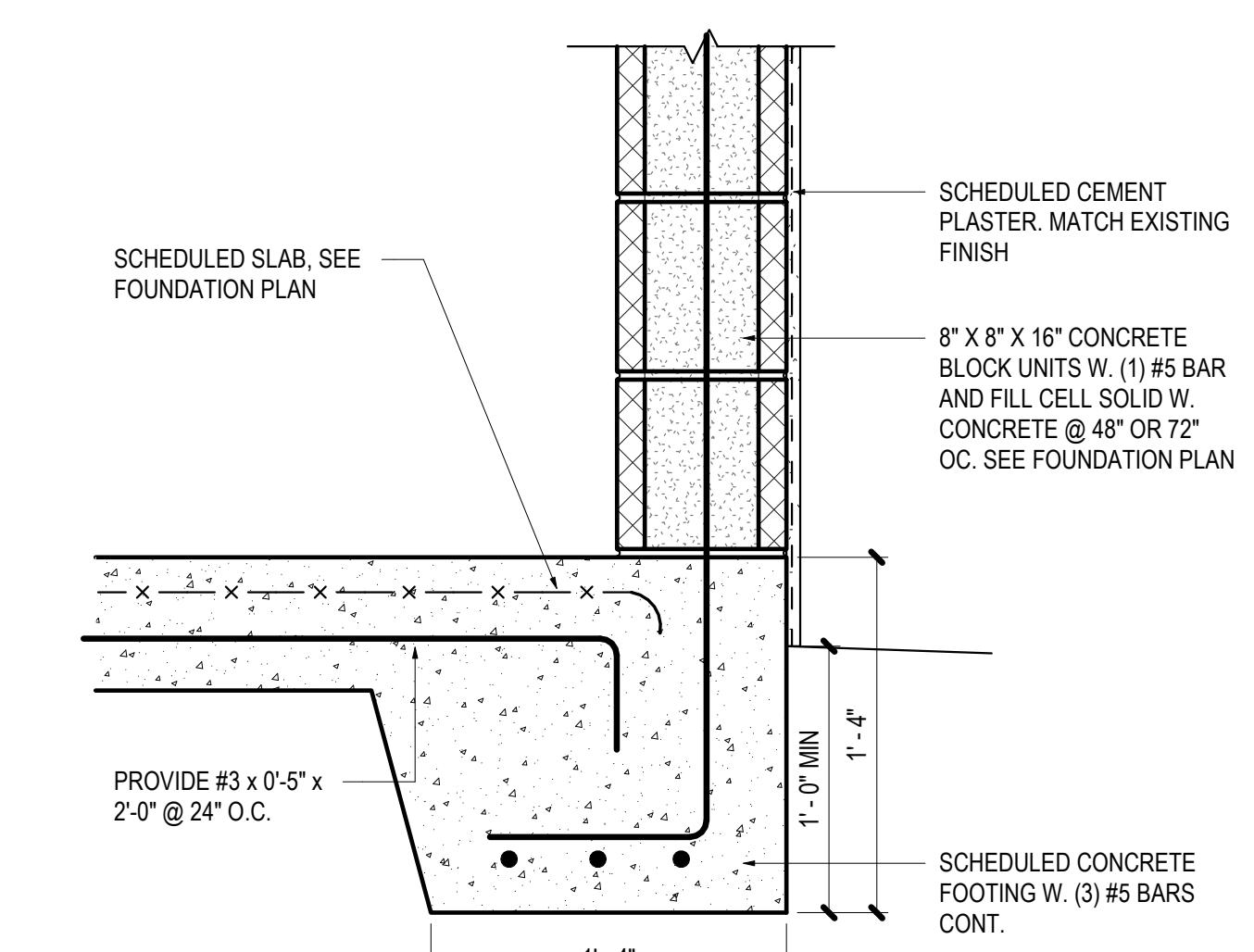
DEAD LOADS
ROOF 15 PSF

LIVE LOADS
FLOOR 40 PSF
ROOF 20 PSF

RAIN LOADS
RAIN LOAD N/A PSF
RAIN INTENSITY 4.07 IN/HR

FLOOD ZONE
FLOOD ZONE X

WIND LOADS
ASCE7-22, 146 MPH WIND (ULTIMATE), 113 MPH (NOMINAL)
BUILDINGS OF ALL HEIGHTS ANALYTICAL METHOD
RISK CATEGORY II
EXPOSURE CATEGORY "B"
ROOF SLOPE: 3:12
INTERNAL PRESSURE COEFFICIENTS:
GC₀ = +/- .18, ENCLOSED STRUCTURE
BASIC WIND PRESSURE: q = 37.6 P.S.F. (C&C)
EDGE DISTANCE: a = 3 FT.



3 FOOTING DETAIL

SCALE: 1 1/2" = 1'-0"

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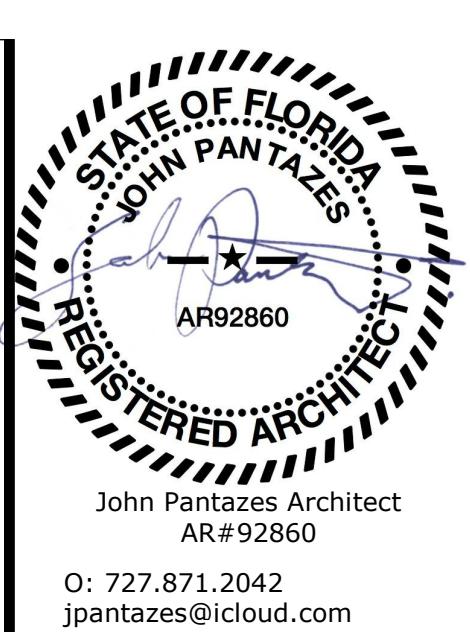
Drawing Title:
FOUNDATION PLAN

Revision	Number
Description	Date

Drawn By: Mila Ivanenko
Date: Project Number
05/23/25

Sheet:

S101



GENERAL NOTES

- A WORK AREAS TONED IN GRAY ARE NOT IN CONTRACT. PARTITIONS FACING AREA OF WORK ARE IN SCOPE.
- B GC TO FIELD VERYFY EXISTING T.O CMU WALL HEIGHT AND BEARING CONDITION. MATCH EXISTING.
- C GC TO FIELD VERIFY EXISTING CONCRETE SLAB HEIGHT AND MATCH EXISTING HEIGHT
- D REBAR LAP 48 BAR DIAMETERS
- E MIN. LINTEL BEARING 4"

STRAP SCHEDULE

STRAP SCHEDULE				
MARK	LOCATION	STRAP	FASTENER	ALLOWABLE UPLIFT
1	CMU TO SLOPED TRUSS	HETA 20	(9) 0.148 x 1 1/2 EACH	1810 #
2	OVERBUILT / OUTLOOKERS	H2.5	5-8d X 1-1/2" EACH	535#
4	OUTLOOKERS	H1A	((4) 0.131 x 1 1/2) EACH	545#

LINTEL SCHEDULE

PRE-CAST / PRE-STRESSED CONCRETE LINTEL SCHEDULE

MARK NO.	DESIGNATION	
	MIN SAFE LOAD (PLF)	GRAVITY / UPLIFT
3'-4" DOOR PRECAST	8F8-1B	.
4'-8" DOOR PRECAST	8F8-1B	.
6'-4" DOOR PRECAST	8F8-1B	.
8'-8" DOOR PRECAST	8F16-1B	.
4'-8" WINDOW PRECAST	8F16-1B	.
5'-4" WINDOW PRECAST	8F16-1B	.
8'-0" WINDOW PRECAST	8F16-1B	.
12'-0" WINDOW PRECAST	8F24-1B/1T	.

NOTES:

1. THIS TABLE BASED ON PRECAST/PRESTRESSED LINTLES AS MANUFACTURED BY "CAST CEMENT / FLORIDA ENGINEERED CONSTRUCTION PRODUCTS (TEL: 813-621-4641)". PRECAST/PRESTRESSED LINTLES BY OTHER MANUFACTURERS SHALL MEET OR EXCEED SAFE LOAD CAPACITIES, MATERIALS AND PERFORMANCE CRITERIA.
2. REFER TO "STRUCTURAL NOTES", SHEET S-0, UNDER "MASONRY CONSTRUCTION" FOR ADDITIONAL CONSTRUCTION AND MATERIAL REQUIREMENTS.
4. REINFORCING PLACED IN LINTLES SHALL EXTEND 2'-0" MIN BEYOND OPENINGS.

TYPE DESIGNATION (SAMPLE)

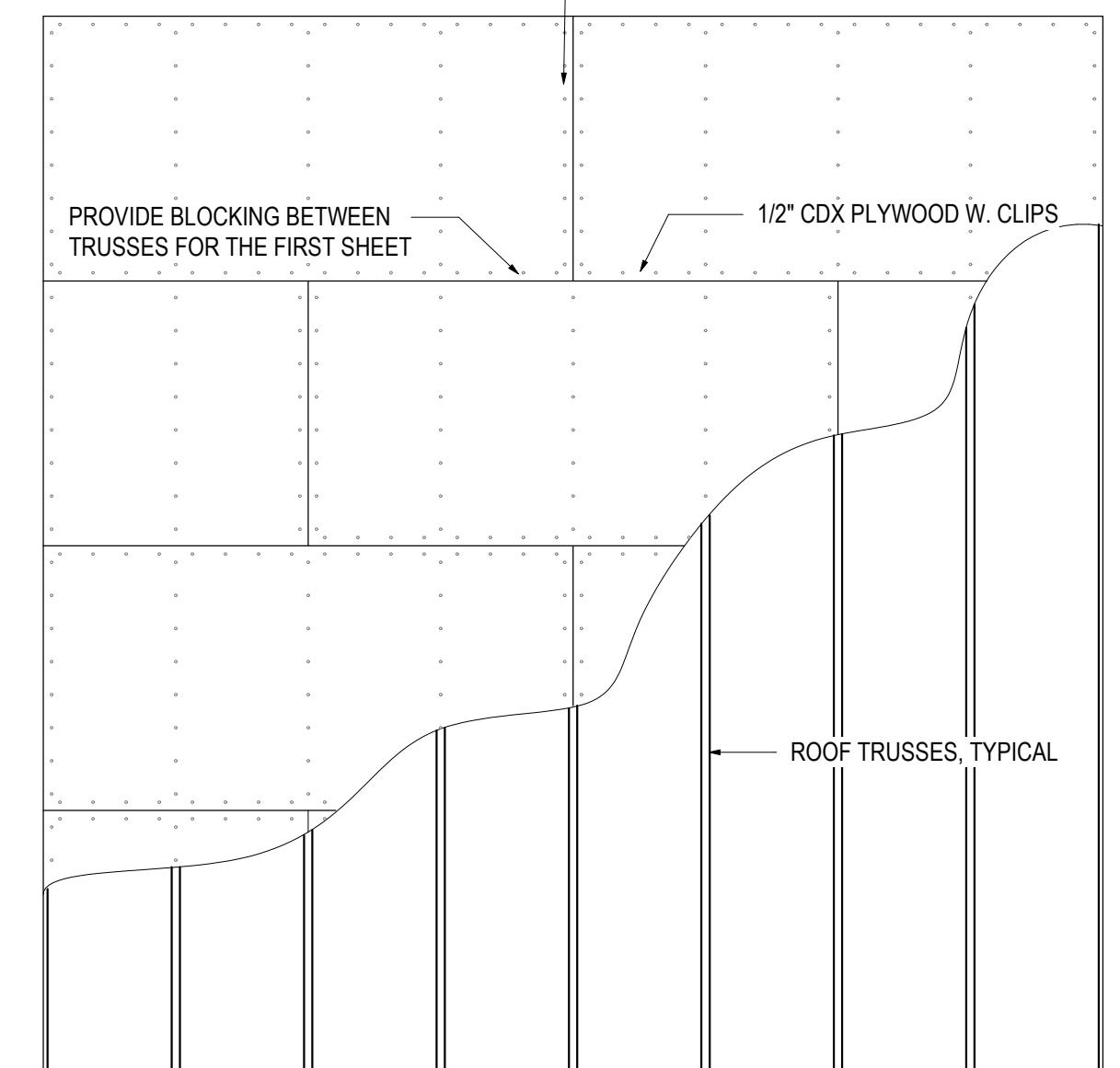
F = FILLED WITH GROUT
 U = UNFILLED
 8F16-1B/1T
 NOMINAL WIDTH
 NOMINAL HEIGHT

QUANTITY OF CONT REINFORCING AT BOTTOM OF LINTLE CAVITY
 QUANTITY OF CONTINUOUS REINFORCING AT TOP

The diagram illustrates a cross-section of a pre-cast concrete lintel. It shows a central cavity with reinforcement bars (rebar) at the top and bottom. Labels indicate the 'NOMINAL HEIGHT SEE SCHEDULE' on the left, 'REBAR AT TOP SEE SCHEDULE' at the top right, and 'NOMINAL' at the bottom right. Various reinforcement details are labeled: '1-1/2" CLEAR' for the top edge, 'K.O. BLOCK WHERE TOP REINF. REQUIRED' for a specific top reinforcement detail, 'STIRRUP IF REQUIRED (SINGLE LEG)' for stirrups, 'GROUT' for the cavity filling, '#5 REBAR AT BOTTOM OF LINTEL CAVITY IF REQUIRED' for bottom cavity reinforcement, and 'BOTTOM REINFORCING PROVIDED IN LINTLE BY MFG.' for bottom main reinforcement. The width of the lintel is marked as 8" at the bottom.

10d DEFORMED NAILS SPACED @ 4" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS AND @ 4" O.C. AT INTERIOR SUPPORTS FOR ROOF ZONE 1

10d DEFORMED NAILS SPACED @ 6" O.C. AT ALL ENDS, EDGES, CUTS AND TERMINATIONS AND @ 6" O.C. AT INTERIOR SUPPORTS FOR ROOF ZONES 2 & 3



1 TYP ROOF NAILING PATTERN

SCALE: 3/8" = 1'-0"

Anzalone Residence

103 Manatee Rd, Belleair, FL 33756

Drawing Title:

ROOF FRAMING PLAN

Revision		
Number	Description	Date

Drawn By: Mila Ivanenko
Date: Project Number
05/23/25

Sheet:

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Project Status:
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Project:

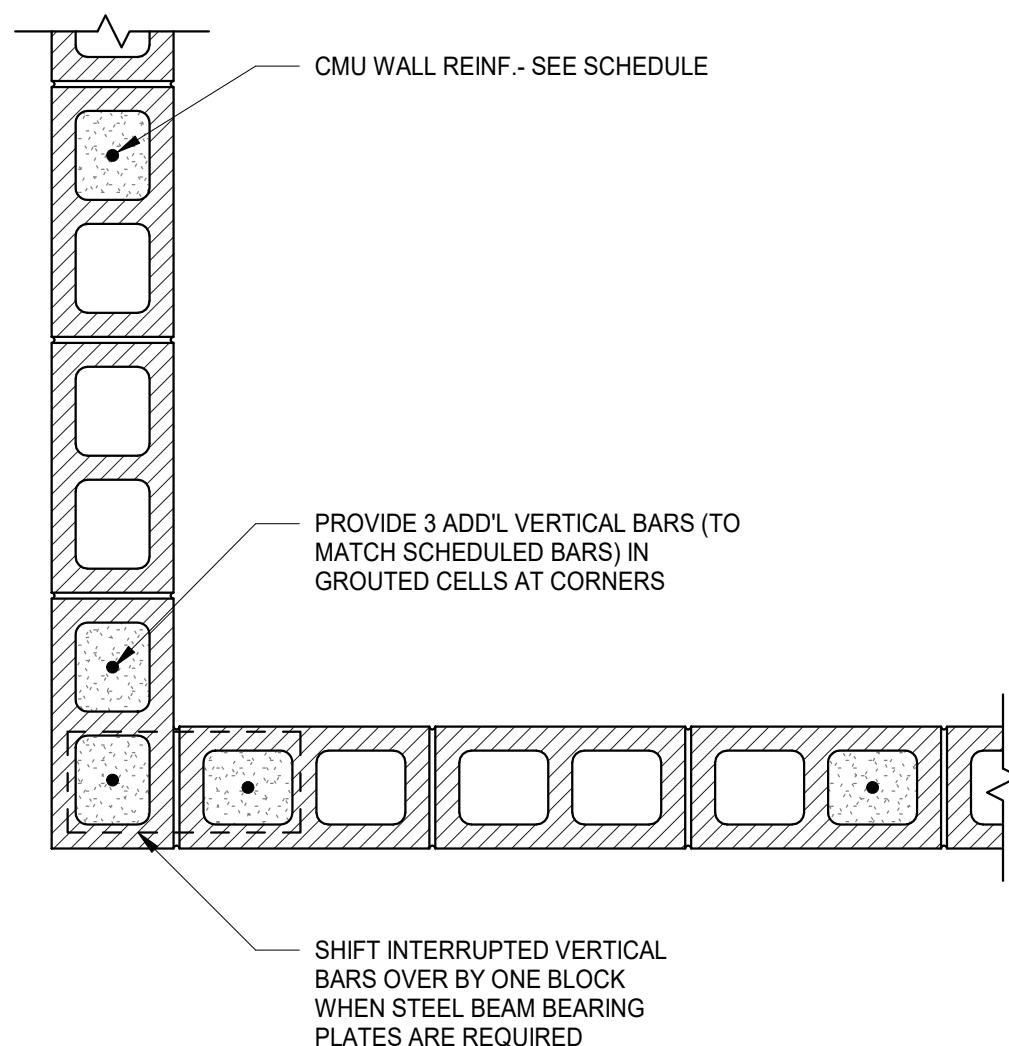
Anzalone Residence
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Drawing Title:
STRUCTURAL DETAILS

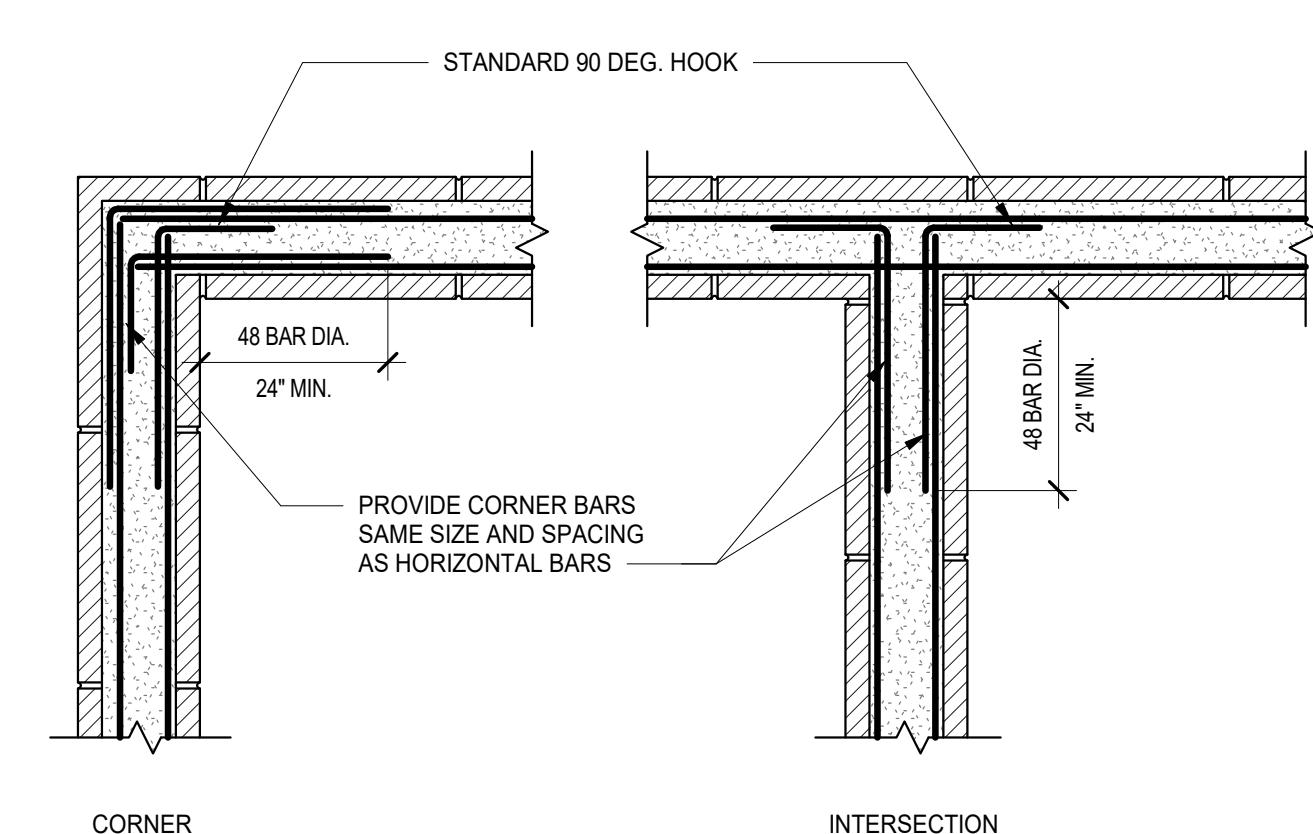
Revision
Number
Description Date

Drawn By: Mila Ivanenko
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05/23/25
Sheet:

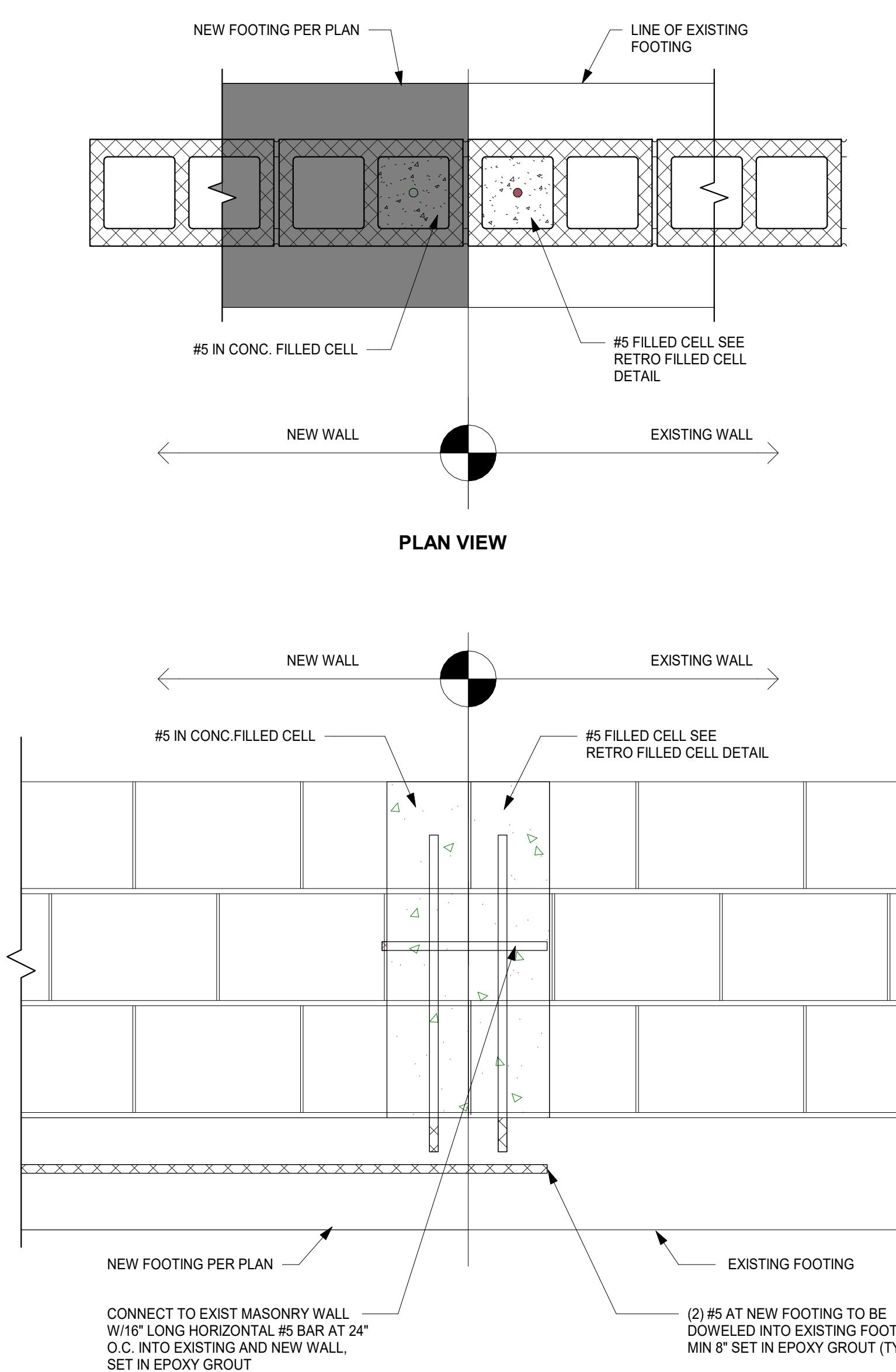
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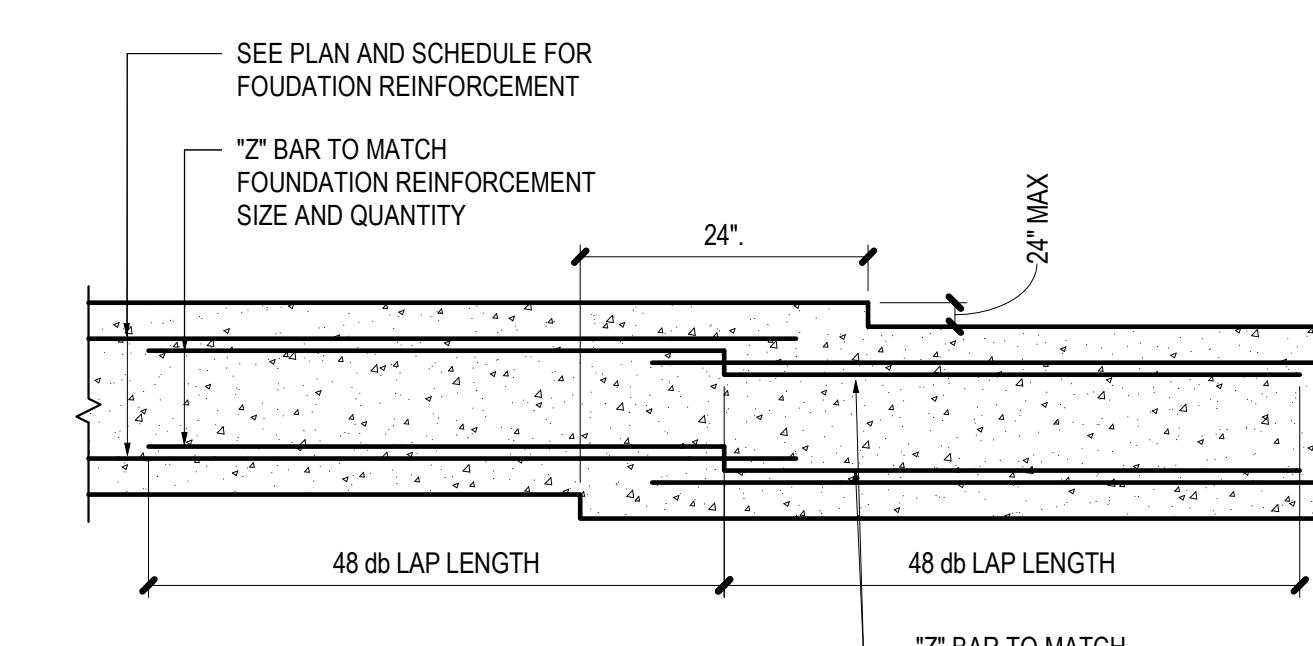
1 TYP. CMU WALL CORNER REINF. DET.
SCALE: 1" = 1'-0"



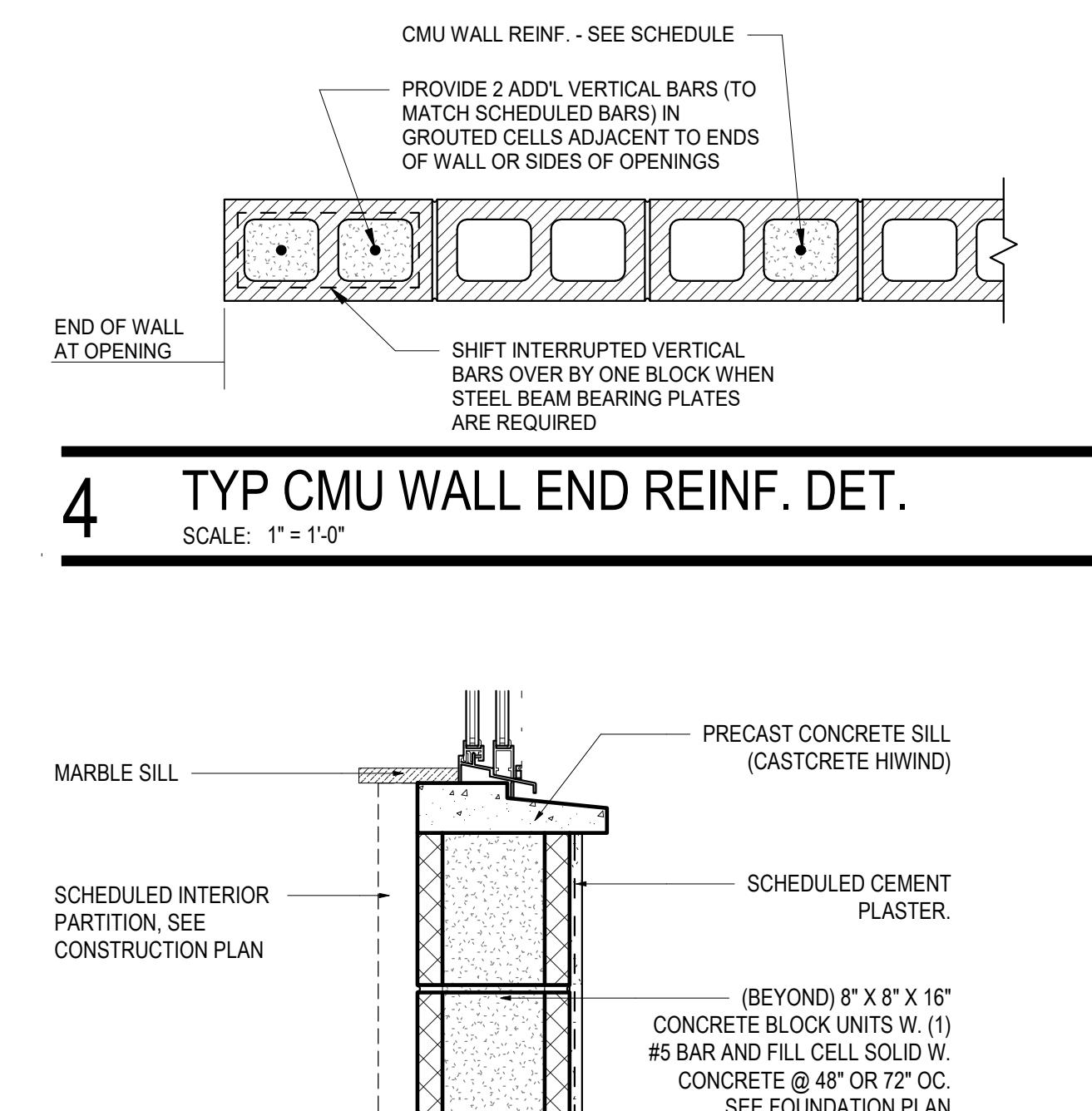
5 BOND BEAM HOR. CORNER BAR DET.
SCALE: 1" = 1'-0"



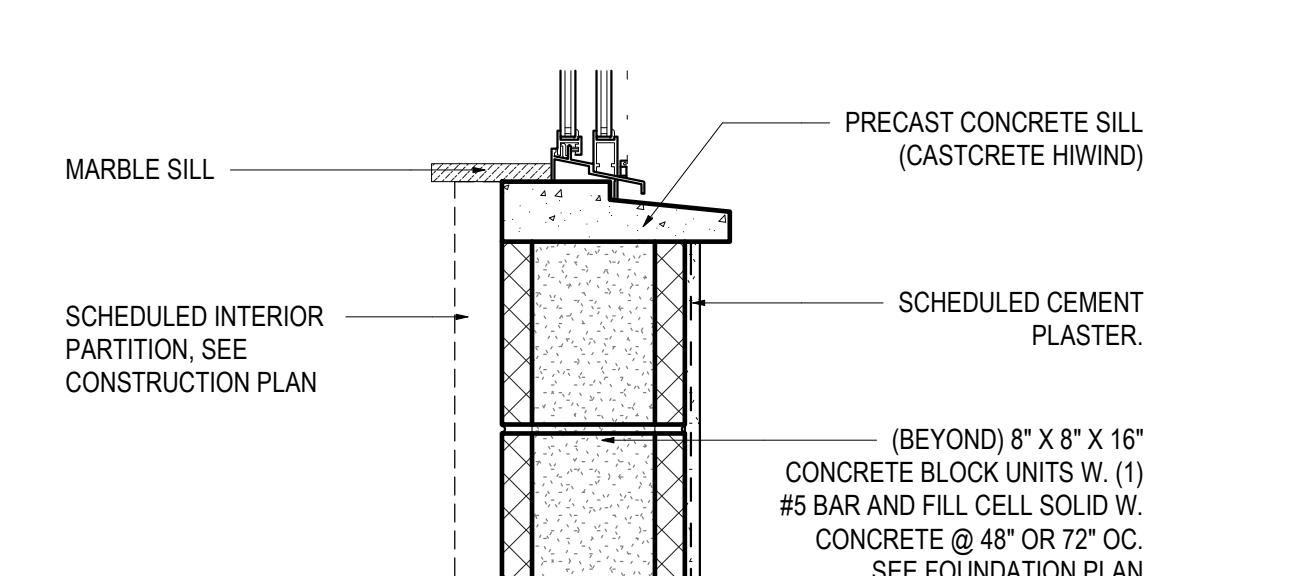
2 EXIST. TO NEW MASONRY WALL CONNECTION
SCALE: 1 1/2" = 1'-0"



6 TYP SLAB-ON-GRADE CONT JOINT DETAIL
SCALE: 3/4" = 1'-0"



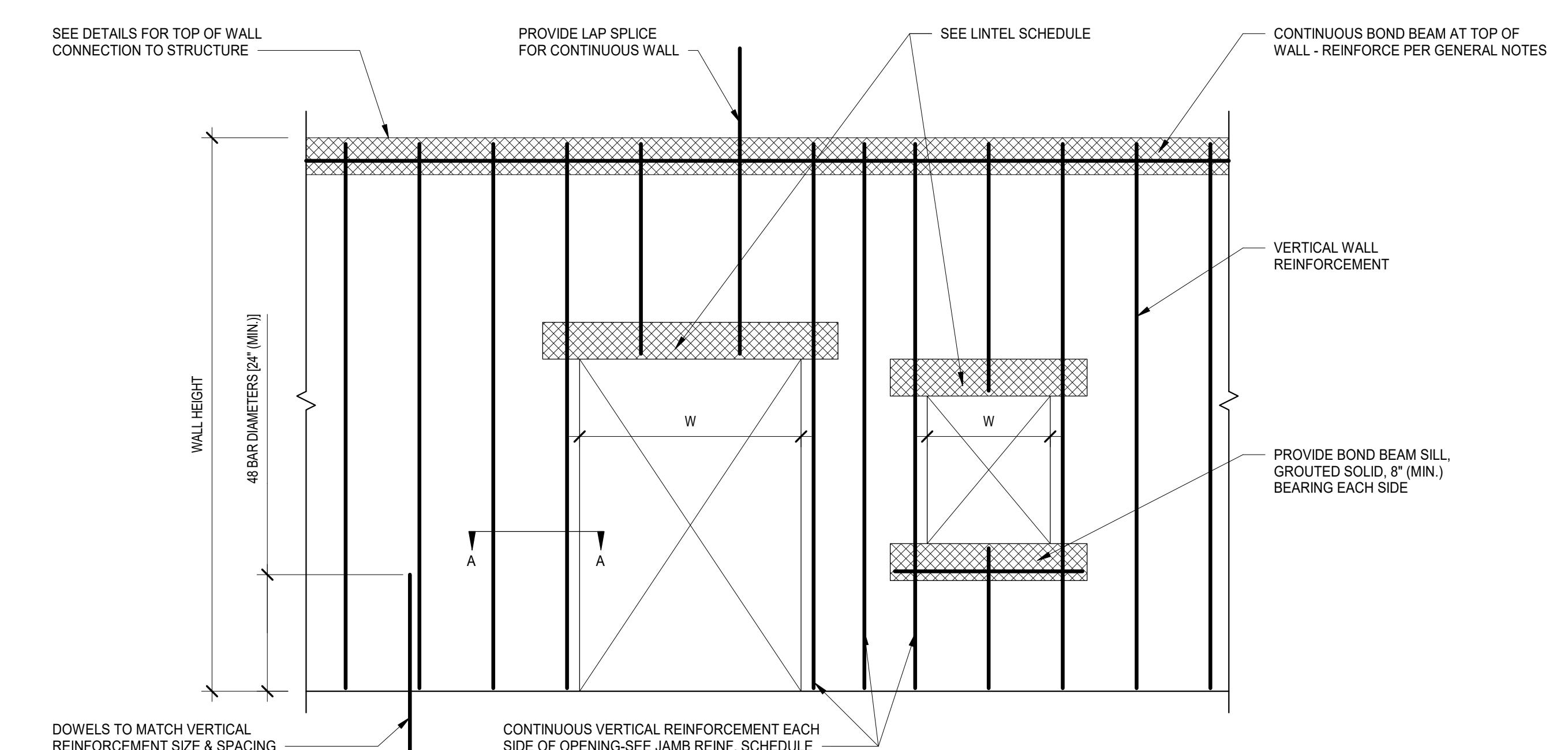
4 TYP CMU WALL END REINF. DET.
SCALE: 1" = 1'-0"



3 WINDOW SILL
SCALE: 1 1/2" = 1'-0"

KEYNOTE LEGEND FOR DETAIL	
KEYNOTE	ANNOTATION
①	CONCRETE SLABS ON GRADE SHALL BE PROVIDED WITH JOINTS IN ACCORDANCE WITH ACI 234.3R OR OTHER APPROVED METHODS. JOINTS ARE ONLY REQUIRED IN UNREINFORCED PLAIN CONCRETE SLABS THAT COMPLY WITH FBC 8TH EDITION (2023), RES. SEC. R505.2.4
②	1 1/4" DEEP SAWCUT CONTROL JOINT, TIME FRAME WITHIN 4 TO 12 HOURS AFTER THE CONCRETE HAS BEEN FINISHED (SEE PLAN FOR EXACT LOCATIONS), CLEAN AND SEAL JOINT AGAINST SOIL-GAS ENTRY (FBC 8TH EDITION (2023), SEC. F303.3)
③	CONCRETE SLAB OVER VAPOR RETARDER OVER SELECT WELL-GRADED, TERMITE TREATED FILL COMPACTED TO 95% MAXIMUM DENSITY, REINFORCING AS DESIGNED BY ARCHITECT OR ENGINEER.
④	CONCRETE SLAB SHALL BE 3-1/2" THICK (4" IN HIGH VELOCITY AREA) AND SHALL MEET MIN COMPRESSIVE STRENGTH AS SPECIFIED BY THE ARCHITECT OR ENGINEER. (FBC 8TH EDITION (2023), RES. SEC. R506.1, F303.4.5)
⑤	VAPOR RETARDER: 6 MIL POLYETHYLENE OR APPROVED EQUAL WITH JOINTS LAPPED NOT LESS THAN 6". THE VAPOR RETARDER MAY BE OMITTED FROM GARAGES, UTILITY BUILDINGS OR OTHER UNHEATED ACCESSORY STRUCTURES (FBC 8TH EDITION (2023), RES. SEC. R506.2.3)
⑥	REINFORCING: REINFORCED PURSUANT TO ACI 318 SEC 2.3, WELDED WIRE REINFORCEMENT MESH PLACED IN THE MIDDLE OF THE UPPER THIRD OF THE SLAB AND IN ACCORDANCE WITH THE PLAN SPECIFICATIONS OR SYNTHETIC FIBER REINFORCEMENT INSTALLED AS DIRECTED BY THE MANUFACTURER OR SUPPLIER. (FBC 8TH EDITION (2023), RES. SEC. 506.2.4)

6 TYP SLAB-ON-GRADE CONT JOINT DETAIL
SCALE: 3/4" = 1'-0"



VERTICAL JAMB REINFORCEMENT SCHEDULE				
WALL HEIGHT	OPENING SIZE (W)			
	<8'-0"	>8'-0"	>10'-0"	>12'-0"
10'-0" OR LESS	2-#5	2-#6	2-#7	4-#5

7 TYPICAL CMU WALL REINFORCEMENT DETAIL
SCALE: 1" = 1'-0"

