

SITE CONSTRUCTION PLANS
FOR
PELICAN GOLF CLUB
PHASE III & IV EXPANSION - "COTTAGES"
TOWN OF BELLEAIR, FLORIDA

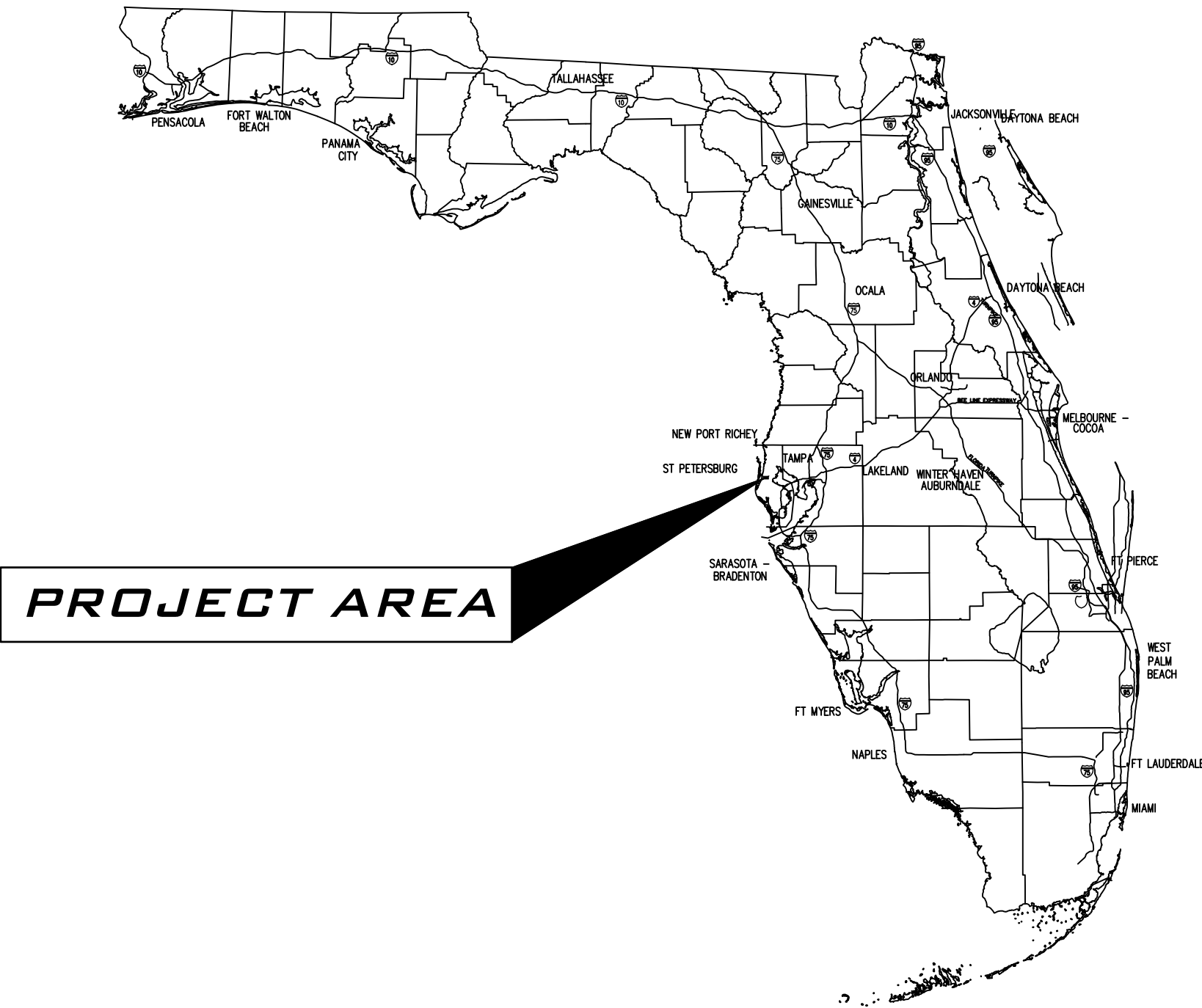
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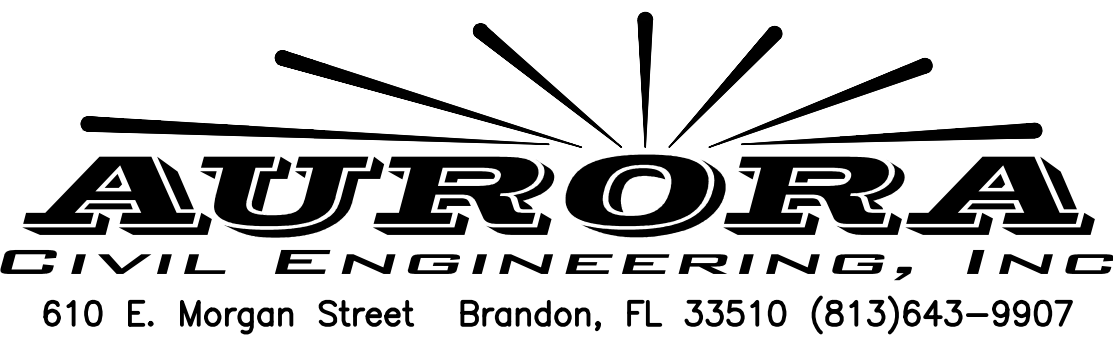
VICINITY MAP



LOCATION MAP

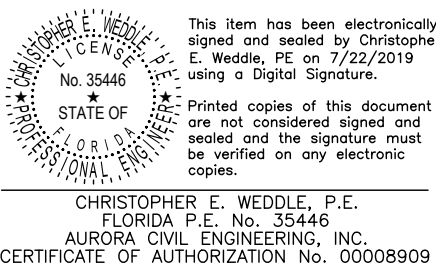


PREPARED BY



PREPARED FOR

HARROD PROPERTIES, INC.
5550 W. EXECUTIVE DRIVE - SUITE 550
TAMPA, FLORIDA 33609



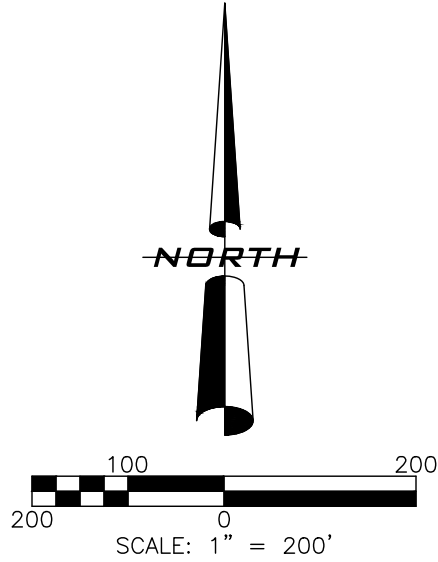
PELICAN GOLF CLUB
PHASE III & IV



PROJECT #18-174

JULY 22, 2019

PHASE III
PERFORMANCE CENTER
PHASE IV
COTTAGES EXPANSION



AERIAL PHASING
PLAN

PELICAN GOLF CLUB - PHASE III & IV

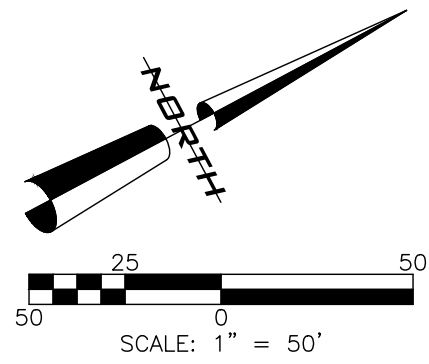
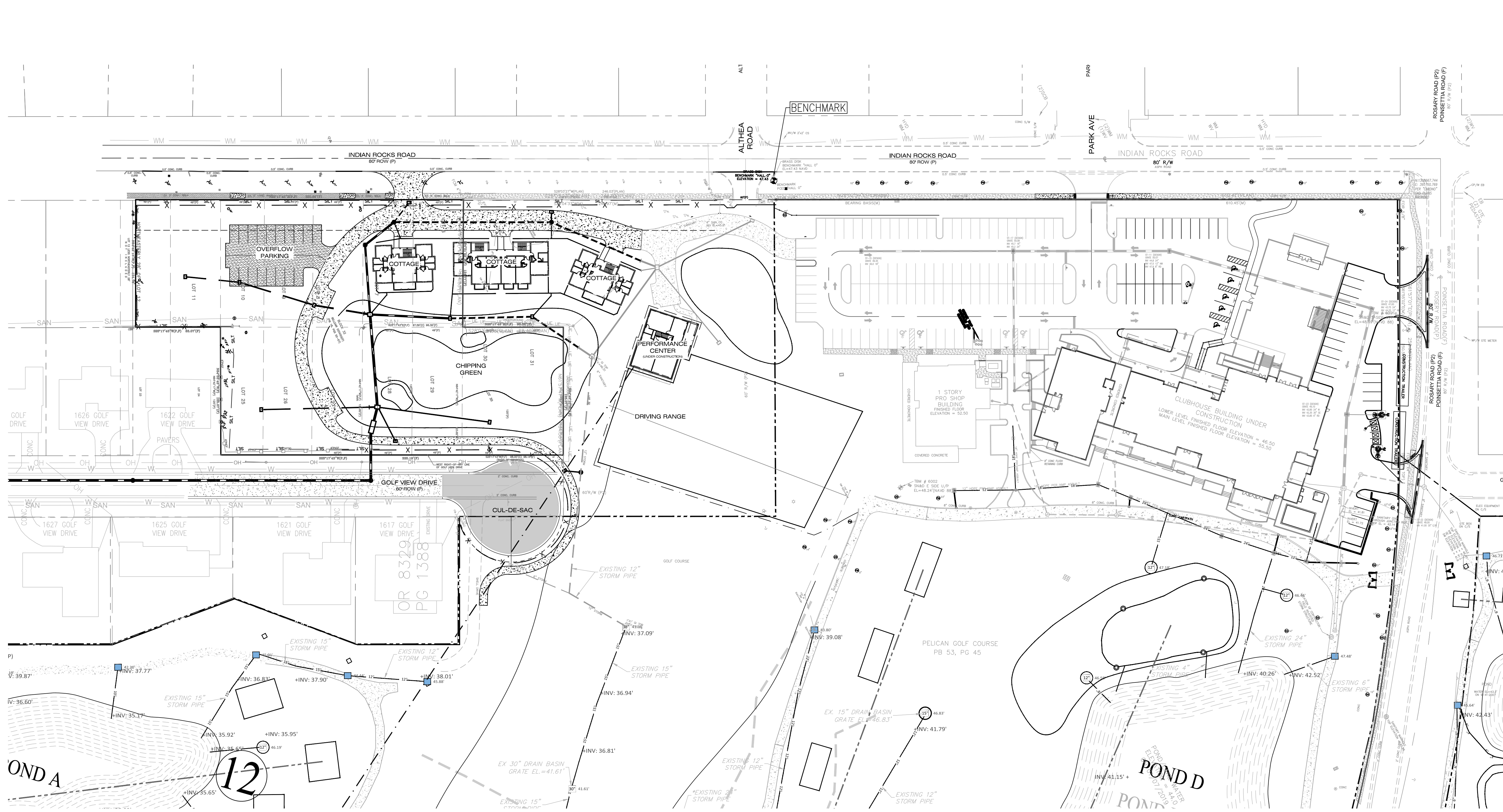
"COTTAGES"
HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE - 550
TAMPA, FLORIDA 33609

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610 E. Morgan Street Brandon, FL 33510 (813)843-9907

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PROJECT: PELICAN GOLF CLUB - PHASE III & IV
DATE: 7/22/2019
DRAWN BY: MICHAEL KNIGHT
CHECKED BY: CHRIS WEDDLE
APPROVED BY: CHRIS WEDDLE
JOB NO.: 18-174

File: R:\Projects\Harrod The Pelican\Plans\Pelican - Cottages; Plotted: 7/22/2019 4:58 PM by MICHAEL KNIGHT; Saved: 7/22/2019 4:56 PM by MICHAEL



NO.	BY	DATE	DESCRIPTION
1	MICHAEL KNIGHT	7-22-2019	ISSUED
2	MICHAEL KNIGHT		APPROVED
3	CHRIS WEDDLE		APPROVED

OVERALL SITE PLAN

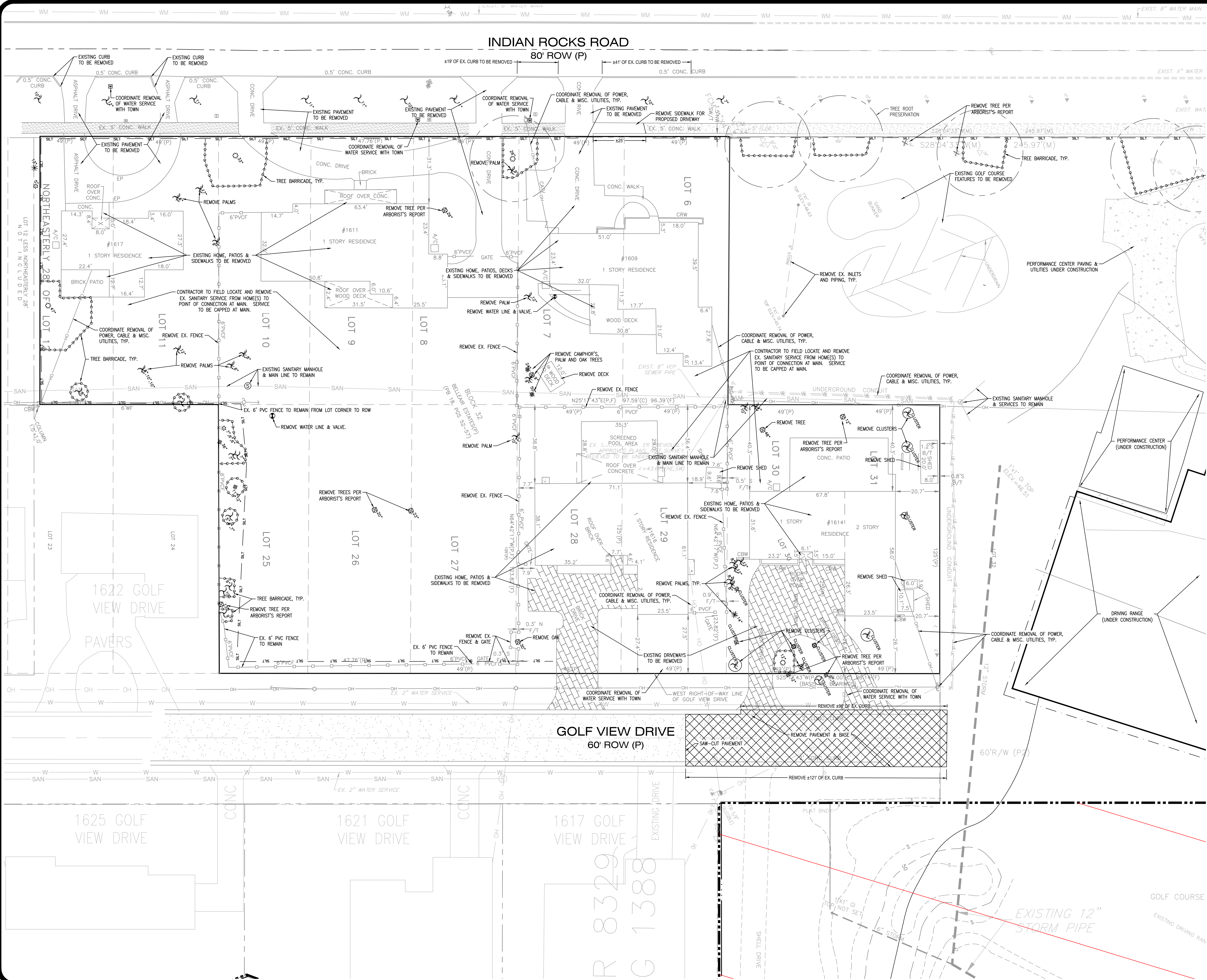
PELICAN GOLF CLUB - PHASE III & IV
"COTTAGES"
HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE - 550
TAMPA, FLORIDA 33609

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ENGINEERING, INC.
610 E. Morgan Street Brandon, FL 33510 (813)643-9807

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CHRISTOPHER E. WEDDLE, P.E.
FLORIDA P.E. NO. 35146
DATE OF AUTHORIZATION: 00000000

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DEMOLITION NOTES:

1. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES (WATER, SEWER, POWER AND CABLE COMPANIES, ETC.) PRIOR TO REMOVING ANY ABOVE OR BELOW GRADE UTILITIES.
2. POTABLE WATER AND SANITARY SERVICES FOR HOMES TO BE ABANDONED SHALL BE FIELD LOCATED AND REMOVED FROM THE HOME TO THE MAIN LINE. SANITARY SERVICES SHALL BE CAPPED AT MAIN. POTABLE WATER SERVICES TO BE ABANDONED IN ACCORDANCE WITH THE TOWN OF BELLEAIR.
3. EXISTING CONDITIONS MAY NOT REFLECT MOST RECENT GOLF COURSE CONSTRUCTION.
4. CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT PRIOR TO REMOVAL OF ANY CURB OR PAVEMENT.

PELICAN GOLF CLUB - PHASE III & IV

"COTTAGES"

HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE - 550
TAMPA, FLORIDA 33609

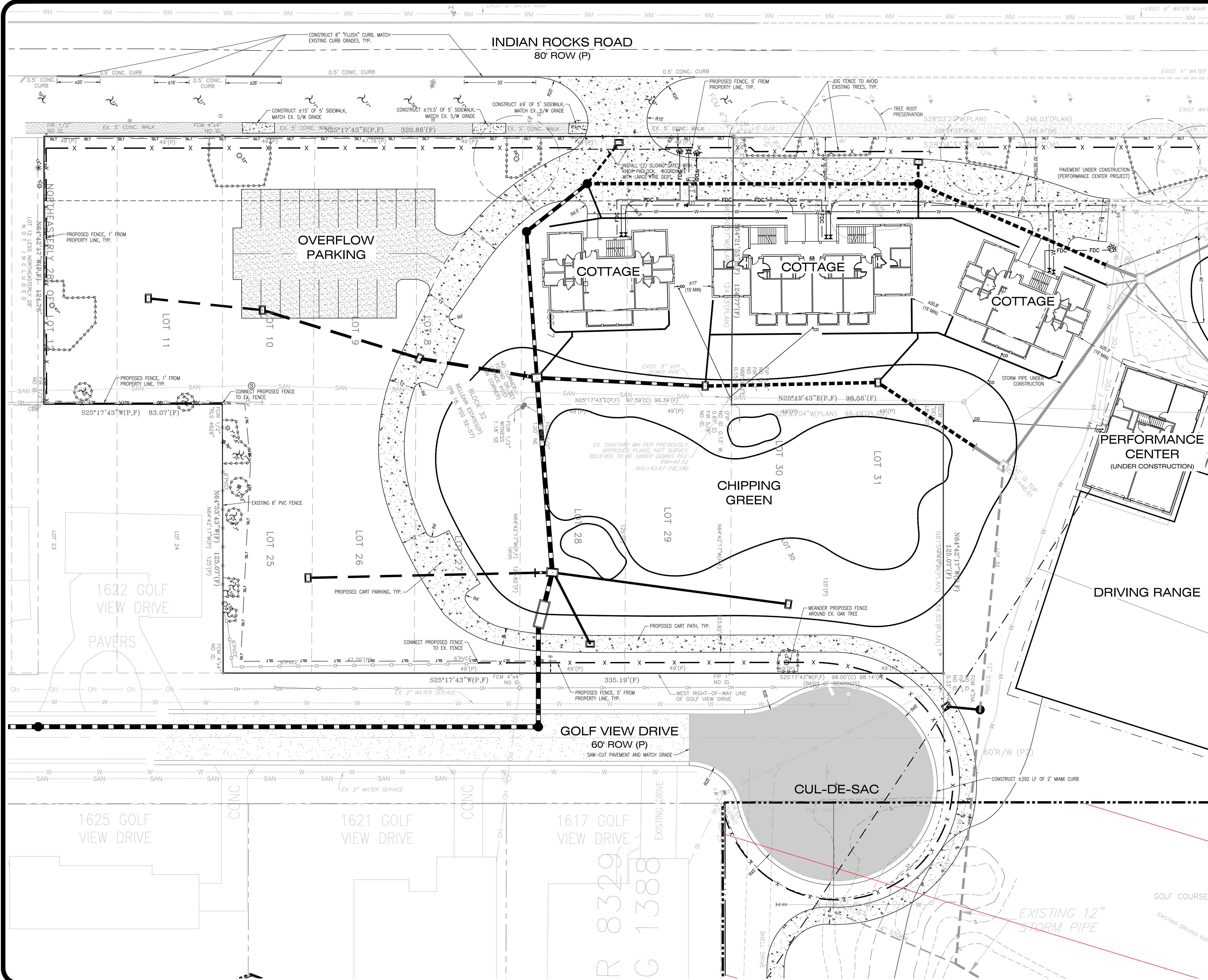
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610 E. Morgan Street
Brandon, FL 33510 (813)843-9907

Professional Engineer
No. 12466
State of Florida
Exp. 12/31/2024

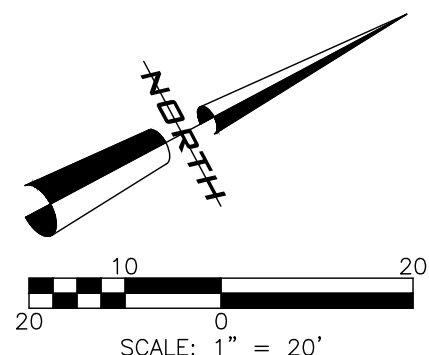
Chris Weddle
Professional Engineer
No. 12466
State of Florida
Exp. 12/31/2024

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- NOTES:
- THE SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, AND MAINTAINED UNTIL CONSTRUCTION ENDS AND THE SITE IS PERMANENTLY STABILIZED.
 - PRIOR TO CONSTRUCTION, BUILDING PERMITS SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH THE TOWN OF BELLEAIR (INCLUDING BUT NOT LIMITED TO BUILDINGS, ACCESSORIES, AND RETAINING WALLS). IT IS THE RESPONSIBILITY OF THE OWNER TO INSPECT AND MAINTAIN THE WATER RETENTION SYSTEM ON A REGULAR BASIS.
 - ALL SODDED SLOPES OVER 4:1 SHALL BE INSTALLED WITH SOD PEGS.
 - ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED.
 - ELEVATIONS SHOWN ARE FRONT OF CURB UNLESS OTHERWISE INDICATED.
 - TOP OF CURB ELEVATIONS ARE 6" AND SIDEWALK ELEVATIONS ARE BETWEEN 4" TO 6" ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS OTHERWISE INDICATED.
 - CURBS AND SIDEWALKS SHALL BE SLOPED TO MATCH GRADES AT ADA RAMP ELEVATIONS. SIDEWALK SLOPES SHALL ADHERE TO ADA REQUIREMENTS.
 - DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE HILLSBOROUGH COUNTY.
 - ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
 - DISTURBED AREAS WITHIN 10 FT OF ANY WATERWAY OR OTHER SURFACE WATER SHALL BE STABILIZED AND SODDED.
 - UTILIZE SUITABLE SOILS FROM EXISTING STOCKPILE FOR FILL AND FINISH GRADING.
 - PROPOSED ELEVATIONS SHOWN ARE PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
 - EXISTING ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BASE B.M. NATIONAL GEODETIC SURVEY B.M. #AG8613, EL.= 38.86 N.A.V.D. 88.



NO.	DATE	DESCRIPTION
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2	7-22-2019	REVISION
3	7-22-2019	REVISION
4	7-22-2019	REVISION
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7	7-22-2019	REVISION
8	7-22-2019	REVISION
9	7-22-2019	REVISION
10	7-22-2019	REVISION

SITE PLAN

PELICAN GOLF CLUB - PHASE III & IV

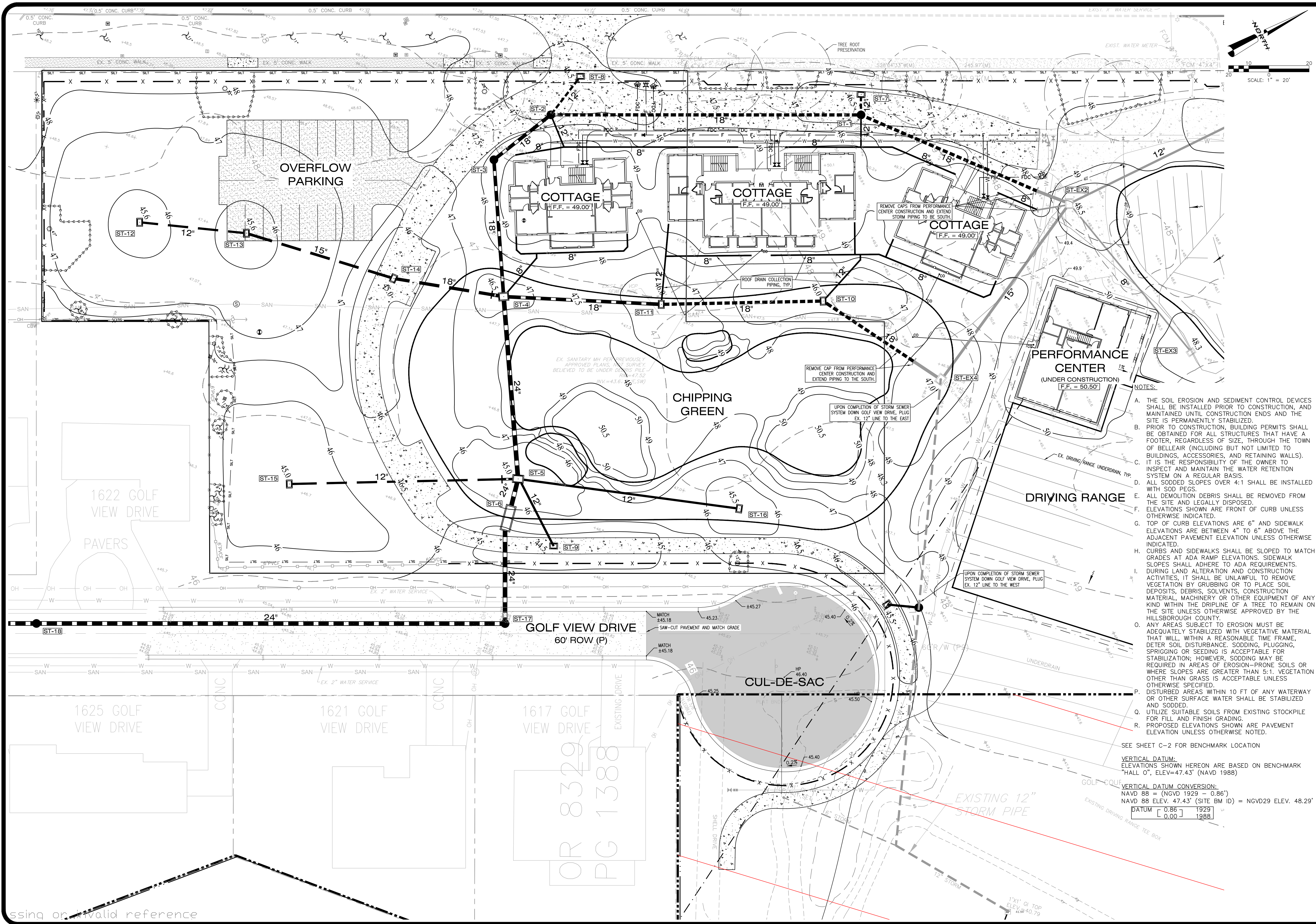
"COTTAGES"

HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE - 550
TAMPA, FLORIDA 33609

AUTORA
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610 E. Morgan Street Brandon, FL 33510 (813)643-9807

This plan has been electronically
checked and sealed by the
Professional Engineer.
The Engineer's Seal and
Signature are required for
all plans and are not to be
used on any other project
without the written consent
of the Engineer.
STATE OF
FLORIDA
REGISTERED PROFESSIONAL
ENGINEER
No. 35446
CHRISTOPHER E. WEDDLE, P.E.
FLORENCE, FLORIDA
DATE OF AUTHORIZATION: 00000000

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GRADING PLAN

PELICAN GOLF CLUB - PHASE III & IV

"COTTAGES"

HARROD PROPERTIES, INC. - 550 WEST EXECUTIVE DRIVE - TAMPA, FLORIDA 33609

AURORA
CIVIL ENGINEERING, INC.
610 E. Morgan Street Brandon, FL 33510 (813)443-9907

C-5

NO.	BY	DATE	DESCRIPTION
1	KNIGHT	7/22/2019	DESIGNED BY
2	KNIGHT	7/22/2019	DRAWN BY
3	KNIGHT	7/22/2019	CHECKED BY
4	KNIGHT	7/22/2019	APPROVED BY
5	KNIGHT	7/22/2019	DATE

NOTES:

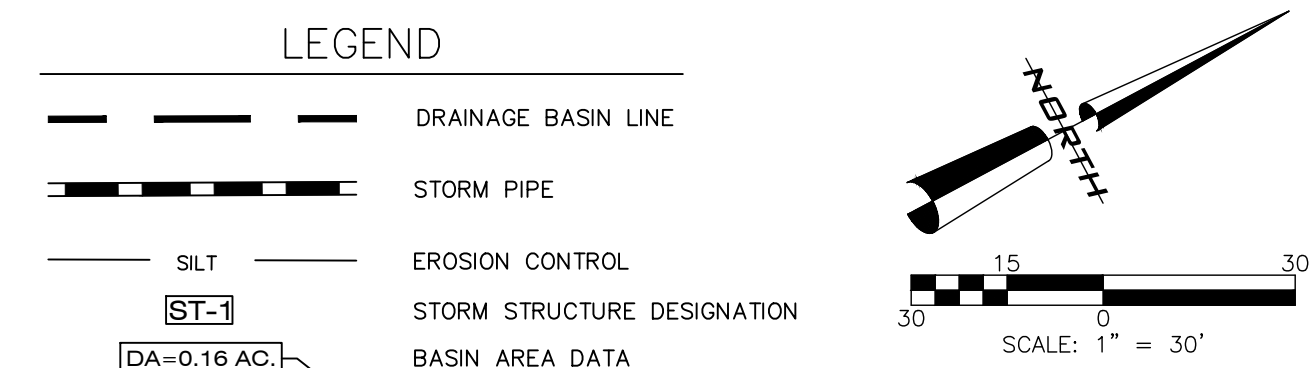
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- PROPOSED ELEVATIONS SHOWN ARE PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.

SEE SHEET C-2 FOR BENCHMARK LOCATION

VERTICAL DATUM:
ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK "HALL 0", ELEV=47.43' (NAVD 1988)

VERTICAL DATUM CONVERSION:
NAVD 88 = (NGVD 1929 - 0.86')
NAVD 88 ELEV. 47.43' (SITE BM 10) = NGVD29 ELEV. 48.29'

DATUM	1929	1988
0.86		
0.00		



ST-6
NUTRIENT SEPARATING
BAFFLE BOX
(SEE DETAIL SHEET)

ST-7
TYPE C INLET
GRATE EL 46.50
INV EL 43.0 (12") SE

ST-8
TYPE C INLET
GRATE EL 46.50
INV EL 42.6 (12") SE

ST-9
TYPE C INLET
GRATE EL 44.50
INV EL 42.2 (12") W

ST-10
TYPE C INLET
GRATE EL 46.00
INV EL 42.5 (12") NW

ST-11
TYPE C INLET

GRATE EL 40.00
INV EL 42.3 (12") NW
INV EL 41.8 (18") NE
INV EL 41.8 (18") SW

ST-12
TYPE C INLET
GRATE EL 45.60
INV EL 42.7 (12") NE

ST-13
TYPE C INLET
GRATE EL 45.60
INV EL 42.5 (12") SW

ST-14
TYPE C INLET
GRATE EL 45.00

ST-15
TYPE C INLET

ST-16
TYPE C INLET

INV EL 42.5 (12") SW

This item has been electronically signed by the Professional Engineer
E. Weidner, III, on 7/22/2018

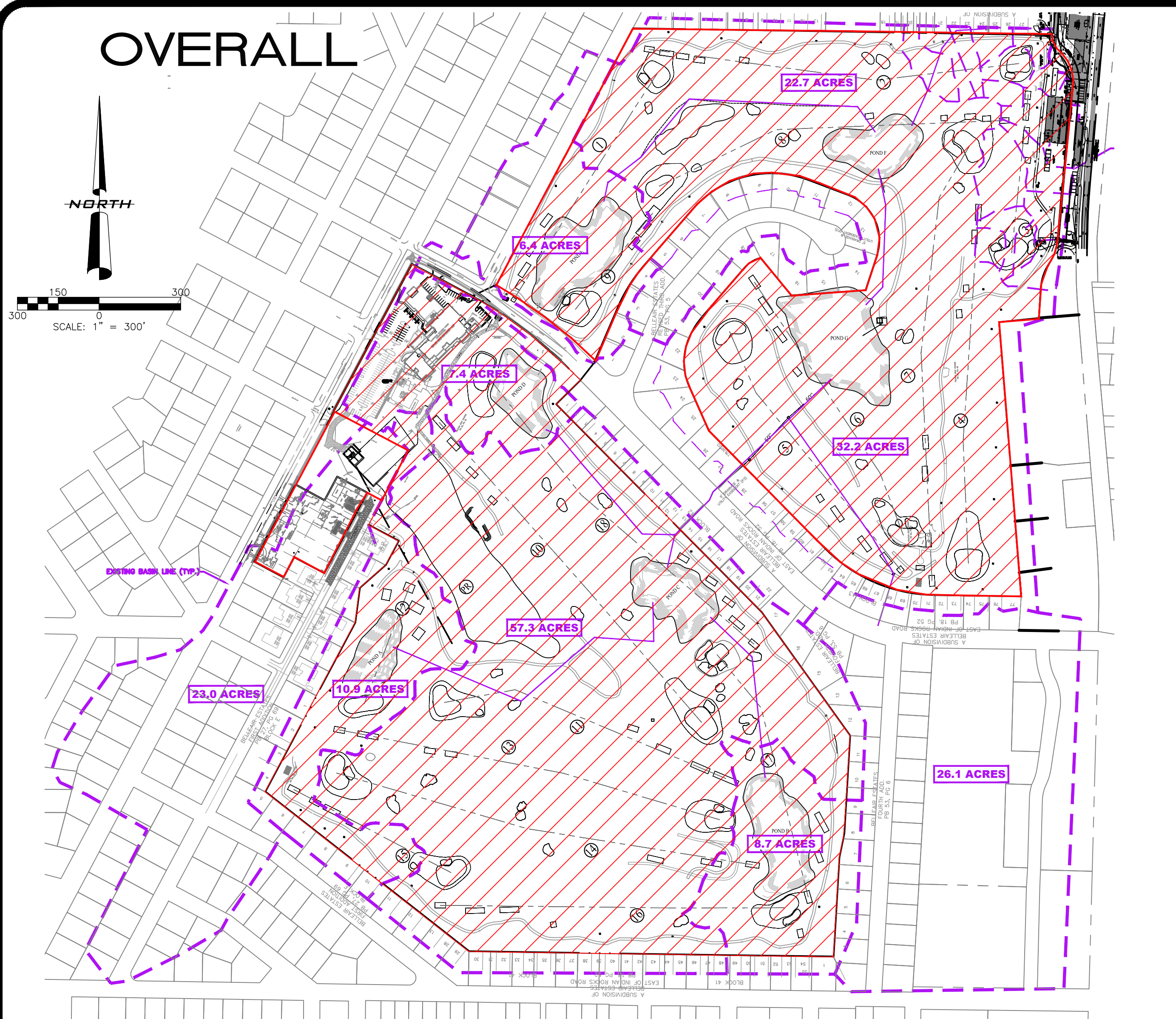
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Florida Department of Transportation
www.fdot.com and the signature and
seal may be verified at the following
website:
www.floridaregulation.com

CHESNEY & ASSOCIATES, P.A.
P.O. BOX 96446
MIAMI, FL 33109-0646
TEL: 305.441.1100
FAX: 305.441.1101
CERTIFICATE OF AUTHORIZATION No. 10000080

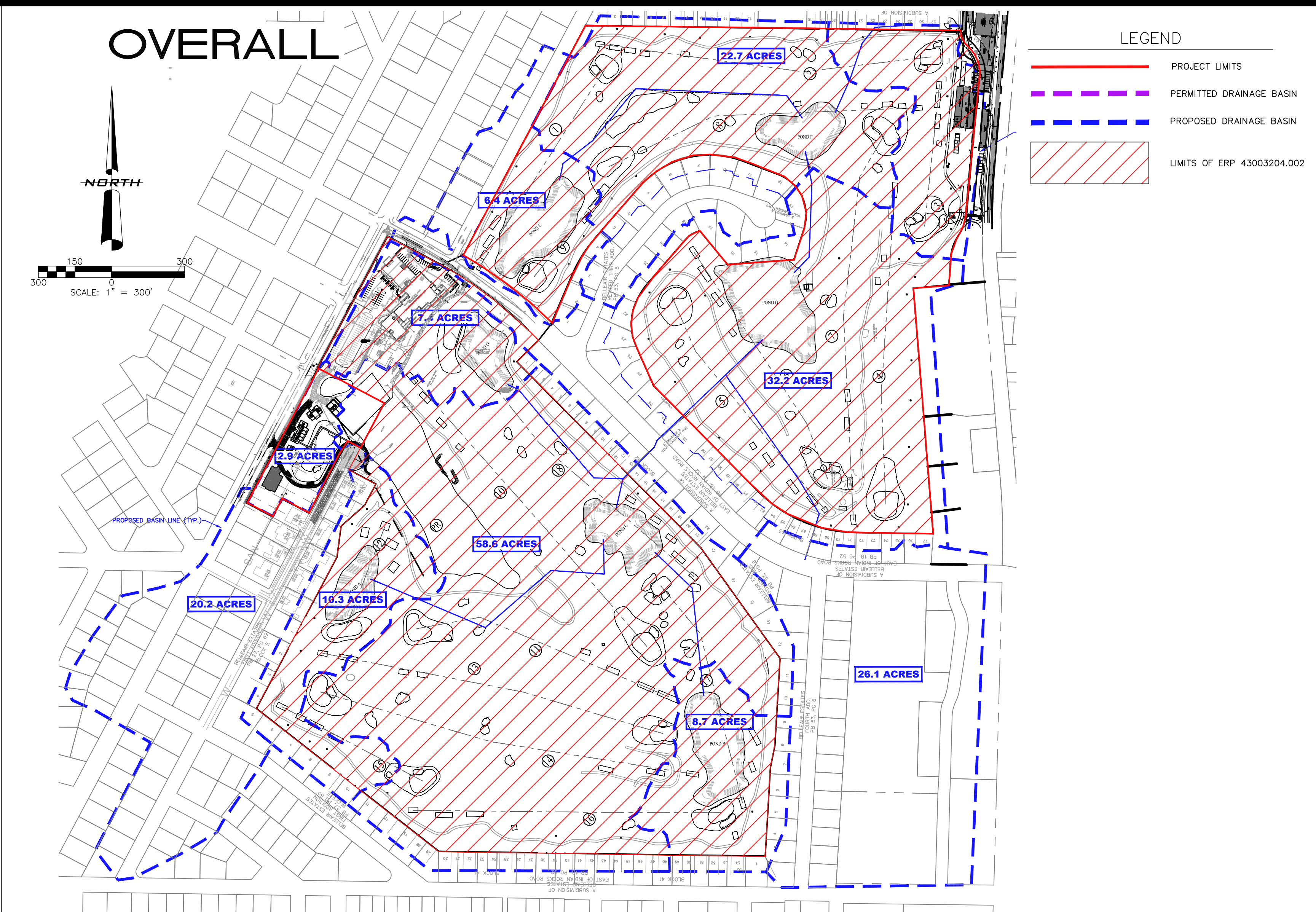
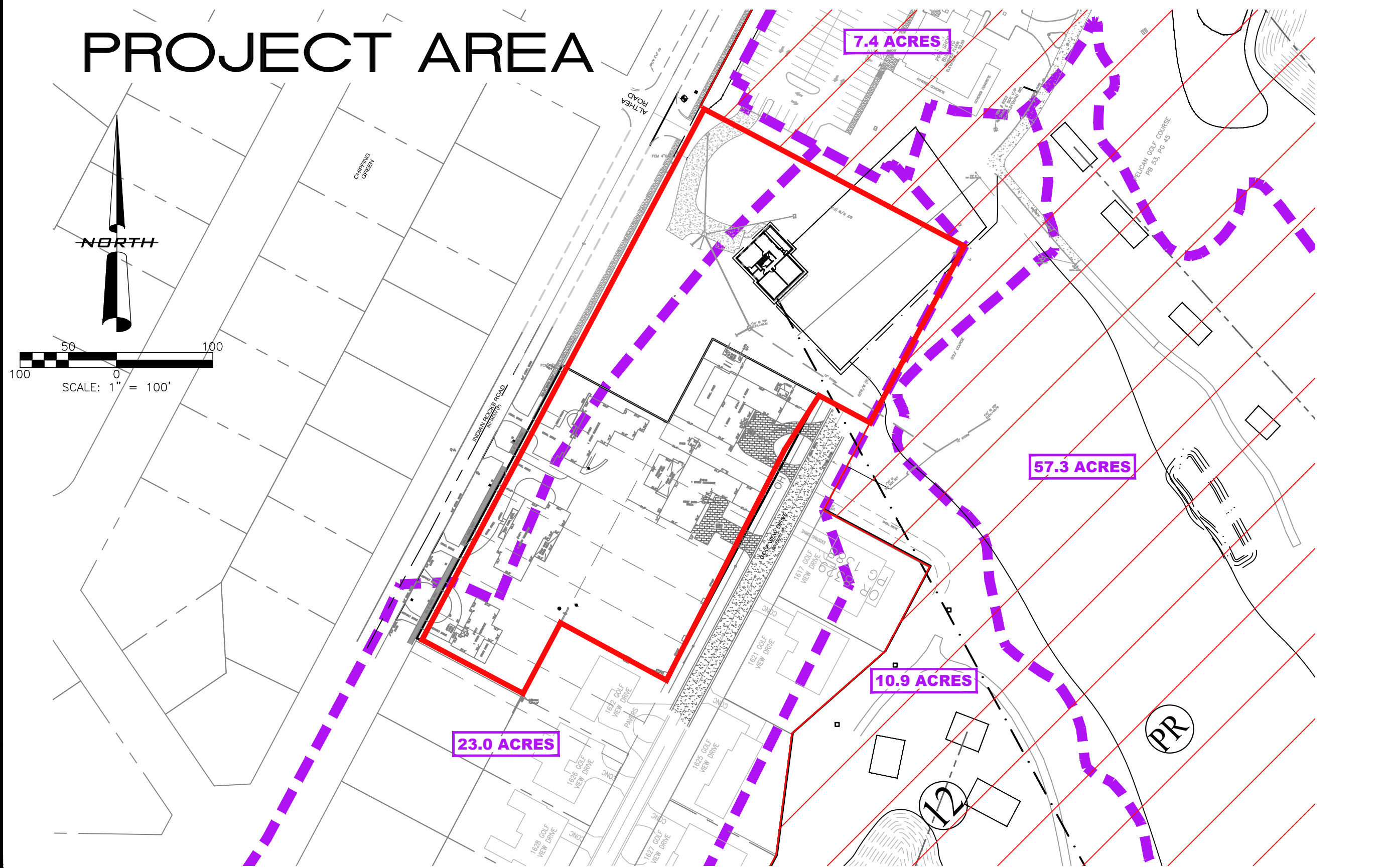
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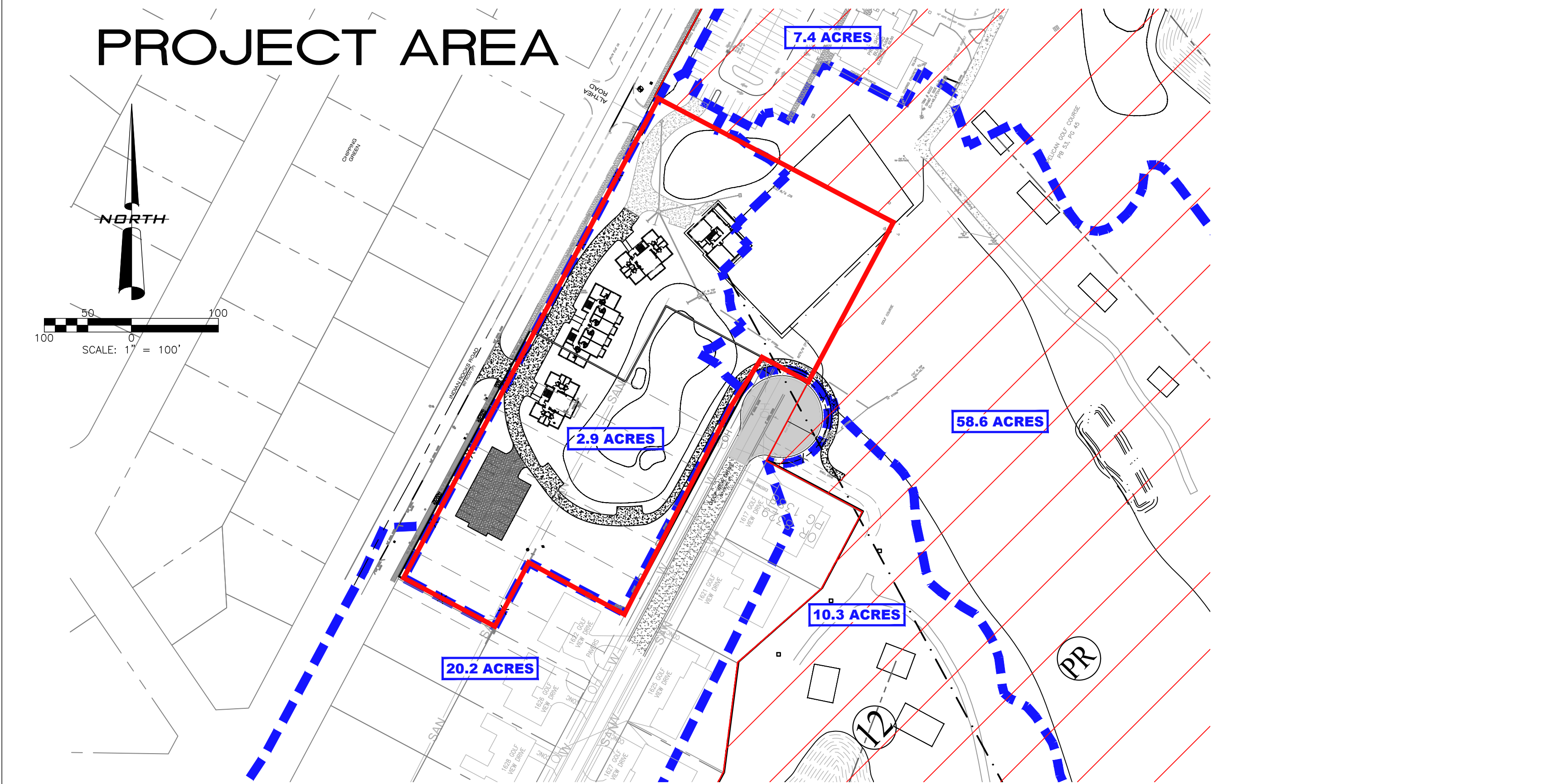
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PERMITTED BASINS



PROPOSED BASINS



MASTER DRAINAGE PLAN

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"COTTAGES"
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5550 WEST EXECUTIVE DRIVE - 550
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C-7

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4	EL KNIGHT	7/22/2019	REVISIONS
5	EL KNIGHT	7/22/2019	REVISIONS

DESIGNED BY: EL KNIGHT
CHECKED BY: CHRIS WEDDLE
APPROVED BY: CHRIS WEDDLE
DATE: 7/22/2019
JOB NO.: 18-174

SS-4 CLEAN-OUT
CAP EL = 49.0
INV EL = 44.3 (6")

1. PURSUANT TO FAC 62-555.340, AND AWWA STD C600, POTABLE WATER SYSTEM MUST BE DISINFECTED, AND BACTERIOLOGICAL SAMPLES WITH CHLORINE CONCENTRATION READING MUST BE COLLECTED TWO CONSECUTIVE DAYS AT LEAST 6 HOURS APART FROM OTHER SAMPLES DURING THE TIME OF CLEARANCE AT THE CONNECTION POINT TO THE EXISTING MAIN AND AT THE PROPOSED METER.
2. SEWER SERVICE SEWER LATERALS FROM BUILDING SHALL TO THE PROPOSED 8" GRAVITY SEWER LINE SHALL BE 6" PVC.
3. ALL GRAVITY LINES AND FORCE MAINS SHALL BE PVC GREEN. PVC FM SHALL BE C900 DR18.
4. ALL NON-METALLIC PIPE SHALL BE INSTALLED WITH 2 PAIR, 10 GAUGE, COPPER TRACER WIRE.
5. ALL ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ENGINEER AS-BUILT LOCATIONS OF ALL INSTALLED UTILITIES. AS-BUILTS SHALL BE PERFORMED BY SURVEY AND TIED TO CURRENT DATUMS.
7. CONTRACTOR TO COORDINATE WATER & WASTEWATER SERVICES BUILDING TIE-IN WITH ARCHITECTURAL PLANS.

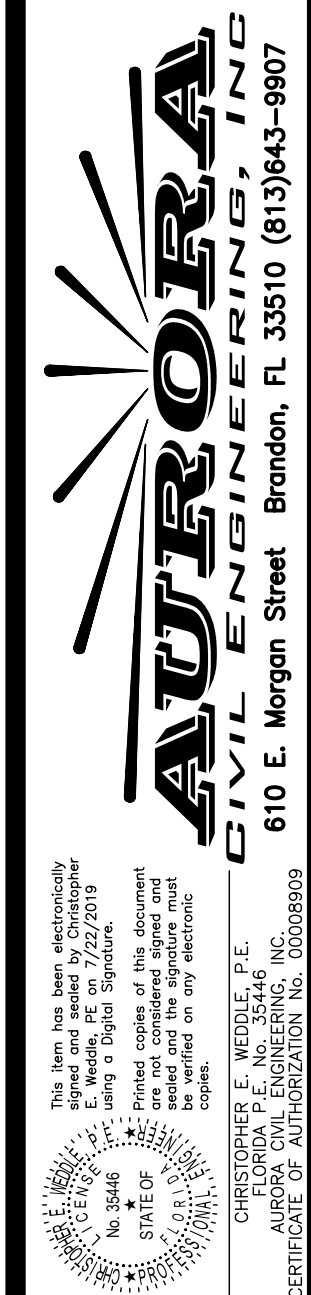
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



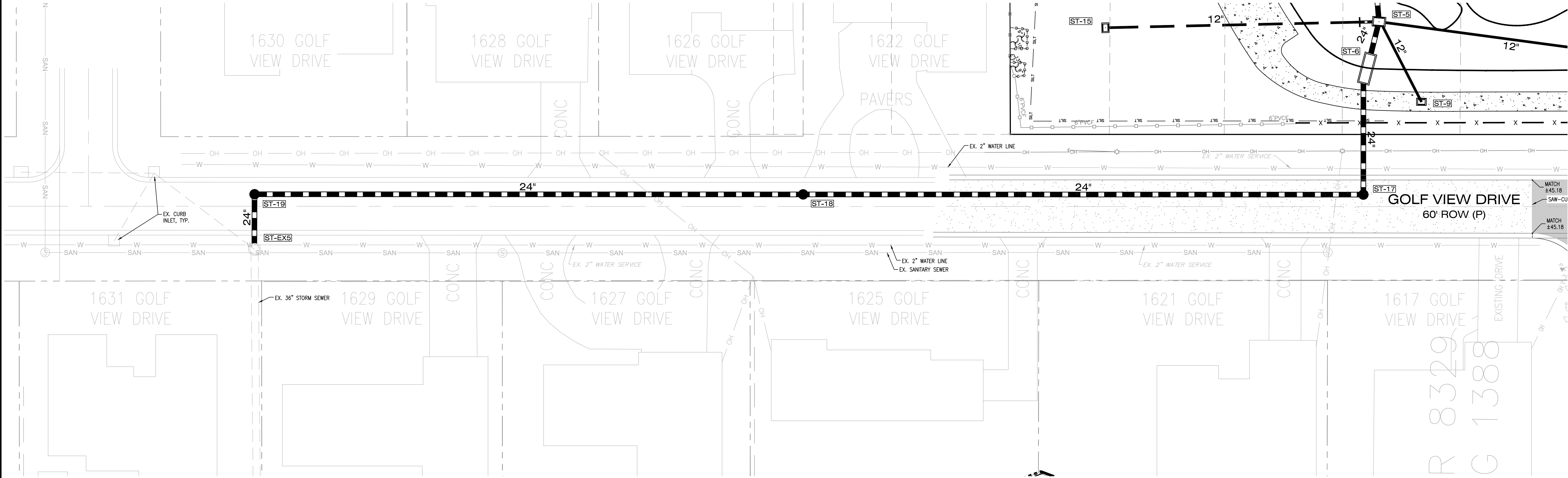
	REVISIONS	NO.	BY	DATE	DESCRIPTION	DRAWN BY:	DATE:
6	-	MICHAEL KNIGHT	CHRIS WEDDLE	7-22-2019		MICHAEL KNIGHT	408 NO. 18-174
4	-					APPROVED BY:	
3	-						
2	-						
1	-						

PELICAN GOLF CLUB - PHASE III & IV

"COTTAGES"
HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE -
TAMPA, FLORIDA 33609



File: R:\Projects\Harrod The Pelican\Plans\Pelican - Cottages; Plotted: 7/22/2019 4:59 PM by MICHAEL KNIGHT; Saved: 7/22/2019 4:56 PM by MICHAEL



STORM STRUCTURES

ST-17 **
TYPE P MANHOLE
RIM EL 45.3
INV EL 40.4 (24") NE
INV EL 40.4 (24") SW

ST-18 **
TYPE P MANHOLE
RIM EL 44.85
INV EL 40.0 (24") NE
INV EL 40.0 (24") SW

ST-19 **
TYPE P MANHOLE
RIM EL 44.4
INV EL 39.7 (24") NE
INV EL 39.7 (24") SE

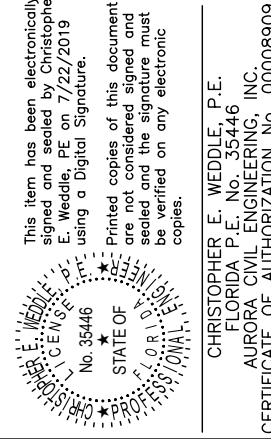
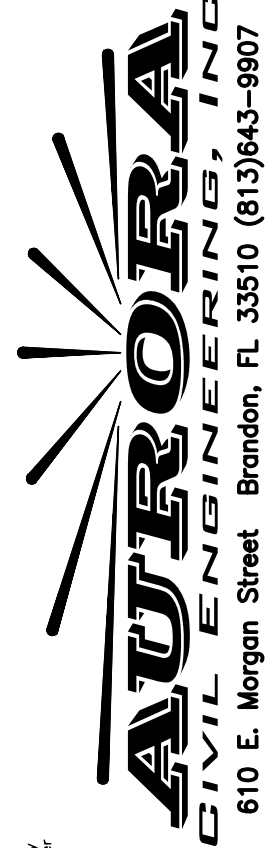
ST-EX5 **
EXISTING MANHOLE
RIM EL XX.X
INV EL XX.X (XX") SW
INV EL 39.5 (24") NW
INV EL 39.5 (36") SE

** STRUCTURE DATA
TO BE VERIFIED
AFTER SURVEY DATA
IS RECEIVED.

PELICAN GOLF CLUB - PHASE III & IV

"COTTAGES"

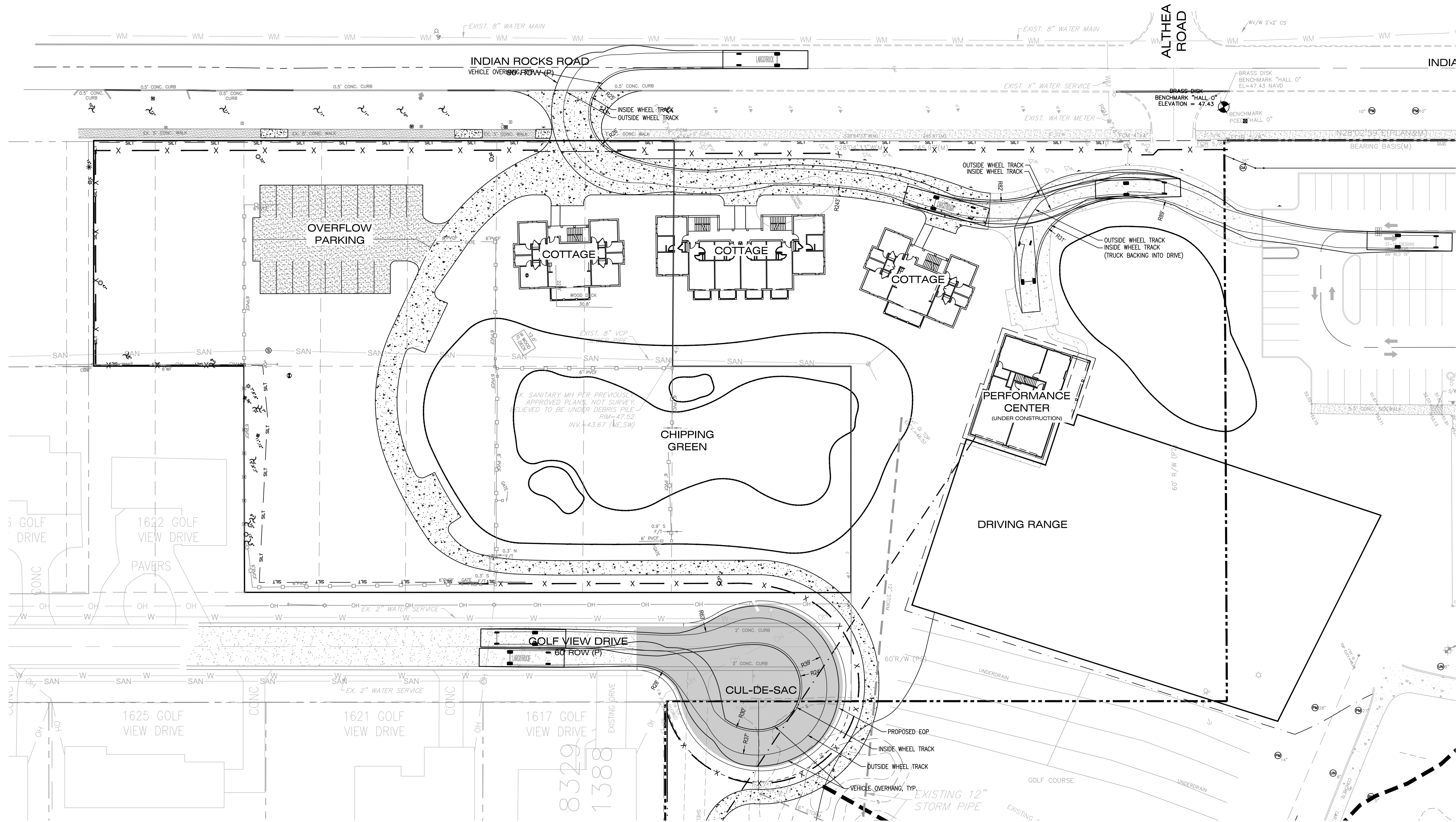
HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE - 550
TAMPA, FLORIDA 33609



OFFSITE UTILITY
AND STORM PLAN

NO.	BY	DATE	DESCRIPTION
1	KNIGHT	7/22/2019	ISSUED FOR PERMIT
2	KNIGHT	7/22/2019	REVISIONS
3	KNIGHT	7/22/2019	REVISIONS
4	KNIGHT	7/22/2019	REVISIONS
5	KNIGHT	7/22/2019	REVISIONS
6	KNIGHT	7/22/2019	REVISIONS
7	KNIGHT	7/22/2019	REVISIONS
8	KNIGHT	7/22/2019	REVISIONS
9	KNIGHT	7/22/2019	REVISIONS
10	KNIGHT	7/22/2019	REVISIONS
11	KNIGHT	7/22/2019	REVISIONS
12	KNIGHT	7/22/2019	REVISIONS
13	KNIGHT	7/22/2019	REVISIONS
14	KNIGHT	7/22/2019	REVISIONS
15	KNIGHT	7/22/2019	REVISIONS
16	KNIGHT	7/22/2019	REVISIONS
17	KNIGHT	7/22/2019	REVISIONS
18	KNIGHT	7/22/2019	REVISIONS
19	KNIGHT	7/22/2019	REVISIONS
20	KNIGHT	7/22/2019	REVISIONS

File: R:\Projects\Harrod The Pelican\Plans\Pelican - Cottages; Plotted: 7/22/2019 4:53 PM by MICHAEL KNIGHT; Saved: 7/22/2019 4:56 PM by MICHAEL



VEHICLE TRACKING

PELICAN GOLF CLUB - PHASE III & IV

"COTTAGES"
HARROD PROPERTIES, INC.
5550 WEST EXECUTIVE DRIVE - 550
TAMPA, FLORIDA 33609

AURORA
ENGINEERING, INC.
610 E. Morgan Street Brandon, FL 33510 (813)843-9907

THIS DOCUMENT IS THE PROPERTY OF AURORA ENGINEERING, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AURORA ENGINEERING, INC.

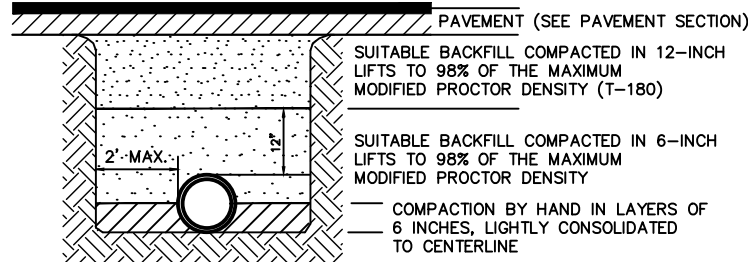
PROJECT: PELICAN GOLF CLUB - PHASE III & IV
SHEET: 18-174
DATE: 7/22/2019
DRAWN BY: MICHAEL KNIGHT
CHECKED BY: CHRIS WEDDLE
APPROVED BY: CHRIS WEDDLE

File: R:\Projects\Harrod The Pelican\Plans\Pelican - Cottages\Plotted: 7/22/2019 4:56 PM by MICHAEL KNIGHT; Saved: 7/22/2019 4:59 PM by MICHAEL KNIGHT; 5550 WEST EXECUTIVE DRIVE - TAMPA, FLORIDA 33609

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPERATION	CROSSINGS (1)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2)	3 FT. MINIMUM		ALTERNATE 3 FT. MINIMUM
VACUUM SANITARY SEWER	10 FT. PREFERRED 3 FT. MINIMUM		ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	10 FT. PREFERRED 3 FT. MINIMUM (3)		ALTERNATE 6 FT. MINIMUM
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 FT. MINIMUM		

- (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
(3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
(4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

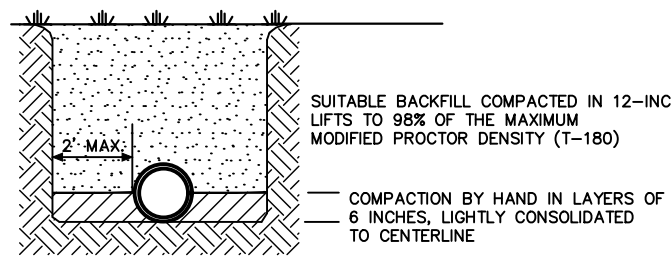


NOTES:

- TYPE 2 TRENCH IS DEFINED AS A FLAT-BOTTOM TRENCH. BACKFILL LIGHTLY CONSOLIDATED TO CENTERLINE OF PIPE. THIS STANDARD SHALL BE UTILIZED IN THE ABSENCE OF SPECIFIC STANDARDS.
- SUITABLE BACKFILL SHALL BE DEFINED AS MATERIAL FREE FROM ONIONS, ASHES, REFUSE, ORGANIC MATTER, BOULDERS, ROCKS OR STONES, OR OTHER MATERIAL THAT IN THE OPINION OF THE ENGINEER IS UNSUITABLE.

TYPICAL TRENCHING, BEDDING AND BACKFILL
DETAIL FOR PAVED AREAS

N.T.S.



NOTES:

- TYPE 2 TRENCH IS DEFINED AS A FLAT-BOTTOM TRENCH. BACKFILL LIGHTLY CONSOLIDATED TO CENTERLINE OF PIPE. THIS STANDARD SHALL BE UTILIZED IN THE ABSENCE OF SPECIFIC STANDARDS.
- SUITABLE BACKFILL SHALL BE DEFINED AS MATERIAL FREE FROM ONIONS, ASHES, REFUSE, ORGANIC MATTER, BOULDERS, ROCKS OR STONES, OR OTHER MATERIAL THAT IN THE OPINION OF THE ENGINEER IS UNSUITABLE.

TYPICAL TRENCHING, BEDDING AND BACKFILL
DETAIL FOR NON-PAVED AREAS

N.T.S.

SUNTREE TECHNOLOGIES INC.™ NUTRIENT SEPARATING BAFFLE BOX™ MODEL NO: NSBB-4-8-90

FLOW & BY-PASS SPECIFICATIONS FOR BIOMASS SEPARATING SCREEN SYSTEM, SEDIMENT COLLECTION CHAMBERS, AND SKIMMER SPECIFICATIONS

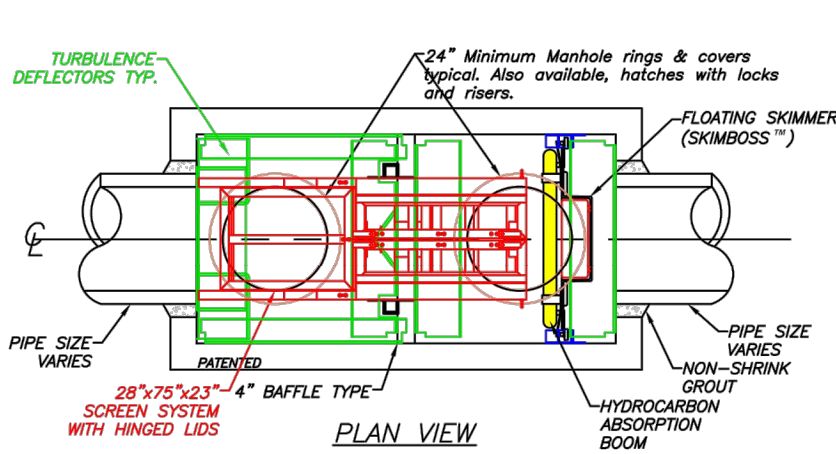
- Inflow Pipe Area (24" RCP AS DRAWN) 3.14 sq.ft.
- Open orifice area in screen system 16.61 sq.ft.
- Open orifice area in screen system with 50% blockage 8.31 sq.ft.
- Open orifice area in screen system with 75% blockage 4.15 sq.ft.
- By-pass through screen system below the ceiling of the pipe 1.10 sq.ft.
- Minimum by-pass ground screen system below the ceiling of the pipe 2.91 sq.ft.
- Screen system storage volume 21.28 cu.ft.

SEDIMENT STORAGE:

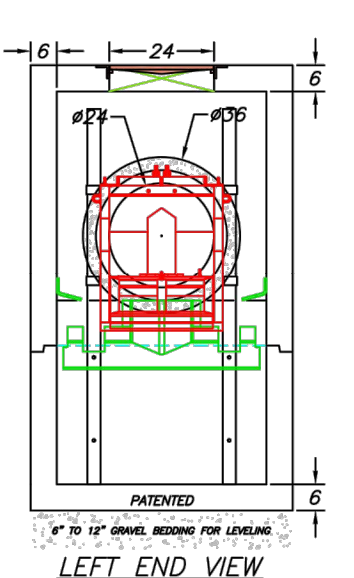
- Volume of first chamber 51.25 cu.ft.
- Volume of second chamber 51.25 cu.ft.
- Volume of total sediment storage 102.50 cu.ft.

SKIMMER SPECIFICATIONS:

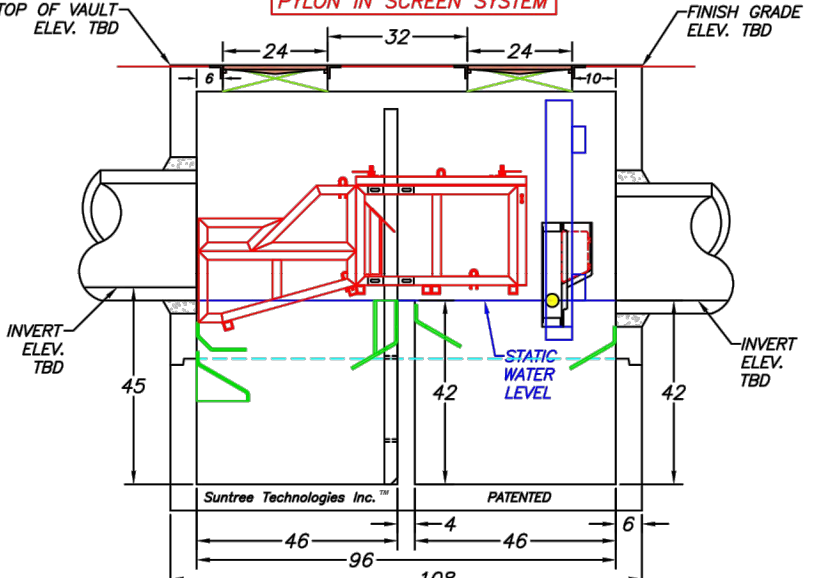
- Flow area under skimmer 3.97 sq.ft.
- Area of pipe in line with skimmer 1.77 sq.ft.
- Area between skimmer and outflow pipe parallel with the surface of the pipe 5.49 sq.ft.



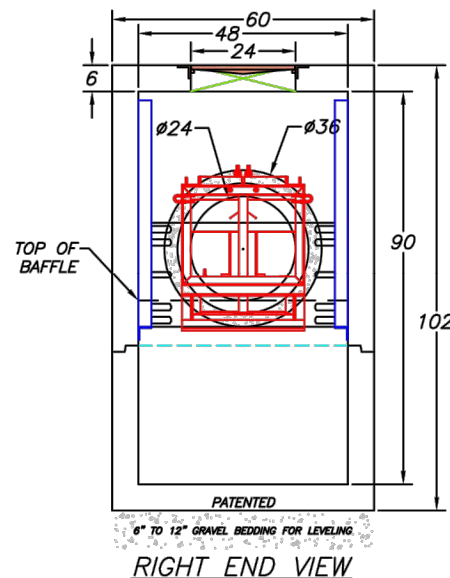
PLAN VIEW



LEFT END VIEW



FRONT SIDE VIEW

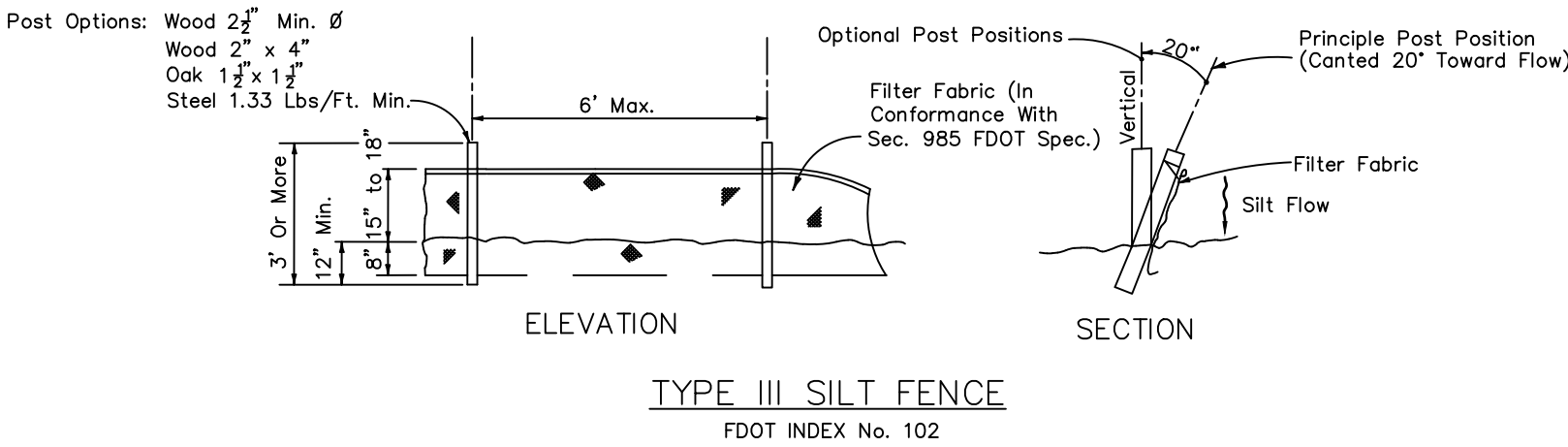


RIGHT END VIEW

NOTES:

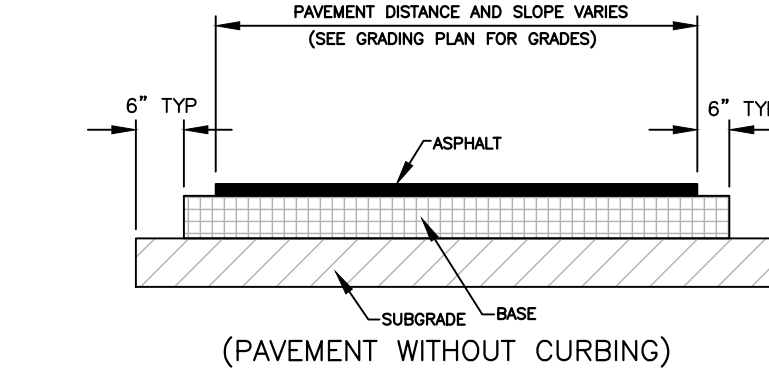
- CONCRETE 28 DAY COMPRESSIVE STRENGTH FC=5000 PSI
- REINFORCING: ASTM A-615 GRADE 60
- SUPPORTS: AN H20 LOADING AS INDICATED BY AASHTO.
- JOINT SEALANT: BUTYL RUBBER SS-3-00210
- ALL WALLS TO BE 6" THICK, BOTTOM TO BE 6" THICK, AND TOP TO BE 6" THICK.
- TREATMENT DESIGN FLOW FOR BOX REMOVAL EFFICIENCY OF TSS IS 8 CFS.
- INFLOW AND OUTFLOW PIPES ARE TO BE FLOW WITH THE INSIDE SURFACE OF THE CONCRETE STRUCTURE. (CAN NOT INTRUDE BEYOND FLUSH)
- BAFFLES ARE TO BE SEALED WITH GROUT TO FORM 2 WATER TIGHT CHAMBERS.

SUNTREE TECHNOLOGIES INC.™ 798 CLEARLAKE RD, SUITE #2 CLEARLAKE, FL 33509 NUTRIENT SEPARATING BAFFLE BOX MODEL NO: NSBB-4-8-90 START DATE: 02/01/2019 DRAFTER: N/A CHECKED BY: N/A	PROJECT NO. 798 CLEARLAKE RD, SUITE #2 CLEARLAKE, FL 33509 NUTRIENT SEPARATING BAFFLE BOX MODEL NO: NSBB-4-8-90 START DATE: 02/01/2019 DRAFTER: N/A CHECKED BY: N/A	CAD N/A	REVISIONS N/A	DATE N/A
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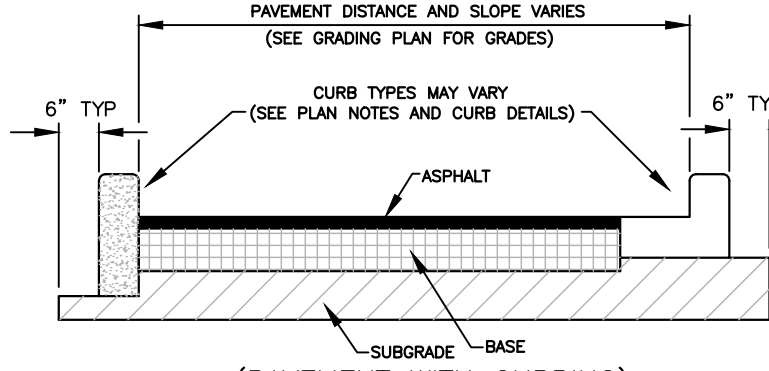


TYPE III SILT FENCE

FDOT INDEX No. 102



(PAVEMENT WITHOUT CURBING)



(PAVEMENT WITH CURBING)

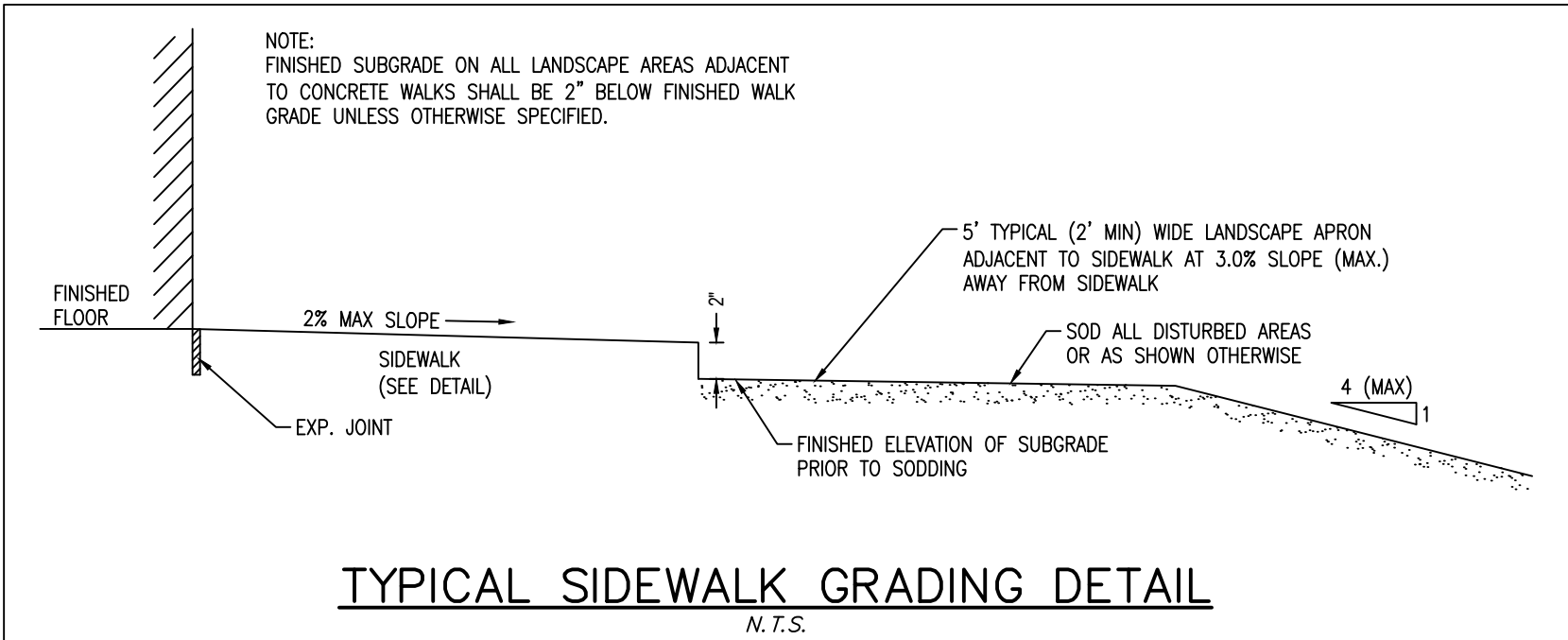
TYPICAL PAVEMENT SECTIONS

(REFER ALSO TO GEOTECHNICAL REPORT)

PARKING AND LIGHT USE AREAS
ASPHALT: 1-1/2" FDOT TYPE S-1 OR S-3 ASPHALTIC CONCRETE. MINIMUM MARSHALL STABILITY OF 1500 LBS. COMPACTED TO AT LEAST 98% OF ITS LABORATORY DENSITY.
BASE: 8" CRUSHED CONCRETE BASE, MIN LBR 100, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
SUBGRADE: 12" STABILIZED SUBGRADE, LBR 40 MINIMUM, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).

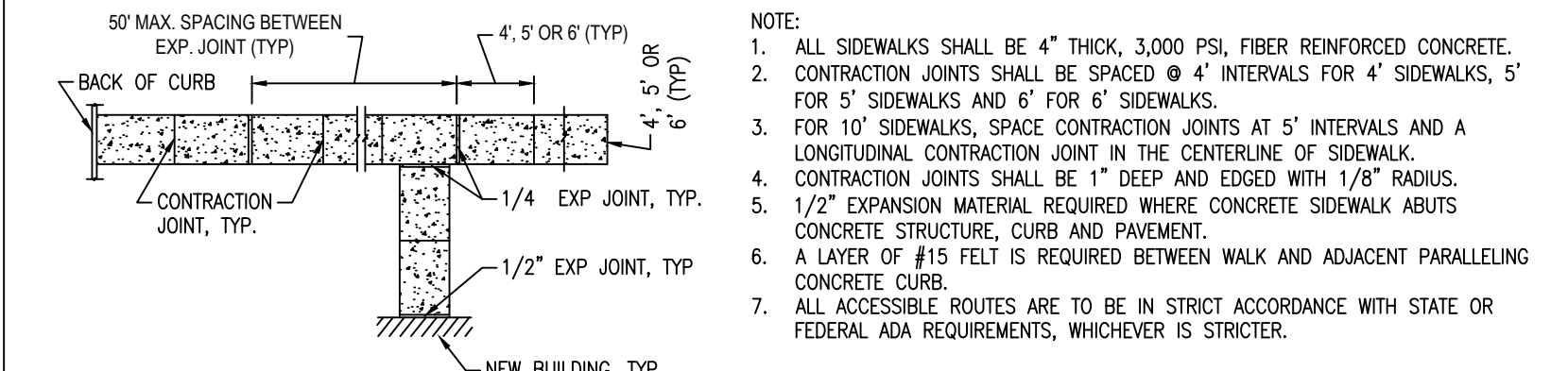
TRUCK AND HEAVY USE AREAS
ASPHALT: 2" FDOT TYPE S-1 OR S-3 ASPHALTIC CONCRETE. MINIMUM MARSHALL STABILITY OF 1500 LBS. COMPACTED TO AT LEAST 95% OF ITS LABORATORY DENSITY.
BASE: 8" CRUSHED CONCRETE BASE, MIN LBR 100, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
SUBGRADE: 12" STABILIZED SUBGRADE, LBR 40 MINIMUM, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).

NOTE:
FINAL PAVEMENT SECTIONS AND CURBING SELECTED BY OWNER/CONTRACTOR. SECTIONS TO BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER.



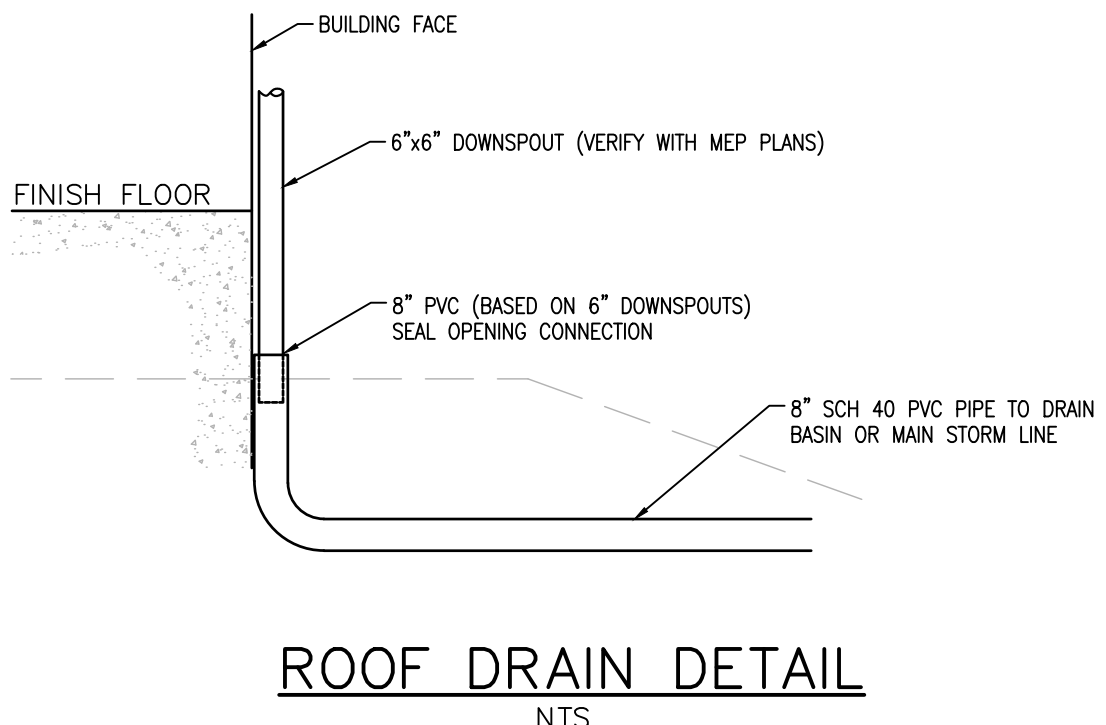
TYPICAL SIDEWALK GRADING DETAIL

N.T.S.



TYPICAL SIDEWALK LAYOUT

N.T.S.



ROOF DRAIN DETAIL

NTS

PELICAN GOLF CLUB - PHASE III & IV

"COTTAGES"

HARROD PROPERTIES, INC. - 550
5550 WEST EXECUTIVE DRIVE - TAMPA, FLORIDA 33609

AUTORA
CIVIL ENGINEERING, INC.
610 E. Morgan Street Brandon, FL 33510 (813) 843-9907
CERTIFICATE OF REGISTRATION
No. 10000
STATE OF FLORIDA
EXPIRATION DATE 12/31/2024
CHIEF ENGINEER: E. WEDDLE
REGISTERED PROFESSIONAL ENGINEER
NO. 0008909